



**REGULAR MEETING  
VILLAGE OF BURR RIDGE  
PLAN COMMISSION**

**February 20, 2017  
7:30 P.M.**

**I. ROLL CALL**

**Greg Trzupsek, Chairman**

**Mike Stratis  
Dehn Grunsten  
Mary Praxmarer**

**Luisa Hoch  
Greg Scott  
Jim Broline**

**II. APPROVAL OF PRIOR MEETING MINUTES**

**A. February 6, 2017 Plan Commission Regular Meeting**

**III. PUBLIC HEARINGS**

**A. V-01-2017: 1333 Burr Ridge Parkway (In Site Real Estate); Variations and Findings of Fact; continued from January 16, 2017 and February 6, 2017**

Requests variations from the Burr Ridge Zoning Ordinance to accommodate the expansion of an office building parking lot. Variations are requested from: Section XI.C.8 to permit parking to be located 60 feet from the front lot line (Burr Ridge Parkway) rather than 79.76 feet (i.e. the established front building setback line); Section XI.C.8 to permit additional parking between the building and the corner side lot line (north line along North Frontage Road) rather than the requirement prohibiting parking between the building and the corner side lot line; and Section XI.C.11.a(3)b to reduce the required landscaping along the north perimeter of the parking lot.

**B. Z-02-2017: 15W069 and 15W081 91st Street (Pacocho); Rezoning Upon Annexation and Findings of Fact**

Requests rezoning upon annexation as per Section VI of the Burr Ridge Zoning Ordinance to the R-2B or R-3 Single Family Residence District.

**C. Z-03-2017: 60 Shore Drive (Restani); Special Use and Findings of Fact**

Requests special use approval as per Section X.F.2.a of the Burr Ridge Zoning Ordinance to permit automobile sales in an existing building.

**IV. CORRESPONDENCE**

**A. Board Report –February 13, 2017**

**B. Building Report – January, 2017**

**V. OTHER CONSIDERATIONS**

- A. PC-01-2017: Annual Zoning Ordinance Review**

**VI. FUTURE SCHEDULED MEETINGS**

- A. March 6, 2017:** This meeting was canceled due to lack of agenda items.
- B. March 20, 2017:** The filing deadline for this meeting is February 20, 2017.

**VII. ADJOURNMENT**

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**PLEASE NOTE:** All Plan Commission recommendations are advisory and are submitted to the Mayor and Board of Trustees for review and final action. Any item being voted on at this Plan Commission meeting will be forwarded to the Mayor and Board of Trustees for consideration at their February 27, 2017 Regular Meeting beginning at 7:00 P.M. Commissioner Stratis is the Plan Commission representative for the February 27, 2017 Board meeting.

**PLAN COMMISSION/ZONING BOARD OF APPEALS**  
**VILLAGE OF BURR RIDGE**  
**MINUTES FOR REGULAR MEETING OF**  
**FEBRUARY 6, 2017**

**I. ROLL CALL**

The Regular Meeting of the Plan Commission/Zoning Board of Appeals was called to order at 7:30 p.m. at the Burr Ridge Village Hall, 7660 County Line Road, Burr Ridge, Illinois by Chairman Trzupek.

**ROLL CALL** was noted as follows:

**PRESENT:** 4 – Hoch, Broline, Scott and Trzupek

**ABSENT:** 3 – Stratis, Grunsten, and Praxmarer

Also present was Community Development Director Doug Pollock.

Chairman Trzupek announced that there was not a quorum for the Zoning Board of Appeals and that the public hearing scheduled under V-01-2017: 1333 Burr Ridge Parkway, would automatically be continued to the February 20, 2017 meeting.

**II. APPROVAL OF PRIOR MEETING MINUTES**

A **MOTION** was made by Commissioner Hoch and **SECONDED** by Commissioner Broline to approve the minutes of the January 16, 2017 Plan Commission meeting.

**ROLL CALL VOTE** was as follows:

**AYES:** 3 – Hoch, Broline, and Scott

**NAYS:** 0 – None

**ABSTAIN:** 1 – Trzupek

**MOTION CARRIED** by a vote of 3-0.

**III. PUBLIC HEARING**

Chairman Trzupek confirmed all those wishing to speak during the public hearing on the agenda for tonight's meeting.

**Z-01-2017: 555 Village Center Drive (Cruickshank); Special Use and Findings of Fact**

As directed by Chairman Trzupek, Mr. Pollock described this request as follows: A special use was granted in 2016 for a "Running Store/Fitness Apparel Store with Sales of Craft Beer or Wine" to be located at 580 Village Center Drive. Subsequent to that approval, the property manager and the tenant have agreed to move this business to another location in the Village Center. The new location is across the street at 555 Village Center Drive (currently occupied by the apparel store Lucy). The 2016 special use was specific to the tenant space at 580 Village Center Drive. Thus, the new location requires special use approval.

Chairman Trzupek asked the petitioner to make their presentation.

Mr. Mike Cruickshank said that the only change to the business was the location. He said that they would operate identical to the plan presented for the location at 580 Village Center Drive.

Chairman Trzupek asked for public comments and questions. There were none.

Chairman Trzupek asked for comments and questions from the Plan Commission.

In response to Commissioner Scott, Mr. Cruickshank said they have not opened the business yet.

Commissioners Broline and Hoch and Chairman Trzupek said they had no further questions or comments.

There being no further discussion, Chairman Trzupek asked for a motion to close the hearing.

At 7:36 p.m. a **MOTION** was made by Commissioner Hoch and **SECONDED** by Commissioner Scott to close the hearing for Z-01-2017.

**ROLL CALL VOTE** was as follows:

**AYES:** 4 – Hoch, Scott, Broline, and Trzupek

**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 4-0.

A **MOTION** was made by Commissioner Hoch and **SECONDED** by Commissioner Scott to adopt the petitioner's findings of fact and recommend that the Board approve Z-01-2017 subject to the following conditions:

- A. The store shall substantially comply with the submitted floor plan including the limitation to the size of the food and beverage service area.
- B. The hours of operation shall be limited to the same hours as other retail stores in the Village Center which are generally 10 AM to 8 PM Mondays through Saturdays and 11 AM to 6 PM on Sundays.
- C. The use shall be limited to a Running Store/Fitness Apparel Store with Sales of Craft Beer or Wine and at no time shall there be sales of beer or wine without concurrent sales of fitness apparel.
- D. The establishment must provide the sale of pre-packaged or fresh food such as cheese, meats and crackers at all times that service of wine and beer is provided.
- E. The special use permit shall be limited to Mike and Tiffany Cruickshank and shall expire at such time that they no longer own and operate the business at 555 Village Center Drive.
- F. There shall be no advertising of beer and wine sales visible through the storefront windows.

**ROLL CALL VOTE** was as follows:

**AYES:** 4 – Hoch, Scott, Broline, and Trzupek

**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 4-0.

#### **IV. CORRESPONDENCE**

There was no discussion regarding the Board Report or Building Report.

**V. OTHER CONSIDERATIONS**

**Z-12-2016; 7600 County Line Road (Rehabilitation Institute of Chicago); Final Plan Review**

Chairman Trzupek asked Mr. Pollock to summarize this consideration. Mr. Pollock reported that the Board of Trustees approved the variations and special use for a medical office building at this location subject to the final review of stormwater plans and architectural materials and colors by the Plan Commission. He added that the developer has met with neighbors and staff twice and has developed a stormwater plan that all parties support. He said the developer would be presenting final building material and color samples.

Chairman Trzupek asked the petitioner for their presentation.

Mr. Tom Lee, Architect with HDR Architects, presented the revised building elevations. He explained that the revisions were intended to add warmth to the façade consistent with a residential building. He showed various elevation renderings and material samples.

Mr. Lance Theis, Architect with HDR Architects, described the stormwater plans. He said the stormwater plan creates a separate stormwater management system to collect and transport the stormwater from the Drew Avenue properties through the property and into the stormwater system southeast of the property and that this system is separated from the on-site stormwater water management system. Mr. Theis said that the on-site stormwater is collected in separate pipes and transported to a detention pond located between the building and County Line Road and that the plans also call for improvements to an existing drain tile that collects underground water and transports that water off site.

Mr. Theis added that the plans showed 2 or 3 trees being saved in the area of the drainage ditch adjacent to the Drew Avenue properties. He said that these trees would have to be removed in order to properly grade the ditch. He said the ditch would primarily be mowed turf to expedite drainage and reduce blockage.

Mr. Theis described the fence to be erected along the west lot line. He said it is a wood grain vinyl fence.

Chairman Trzupek said this was not a public hearing but he invited anyone wishing to comment to do so.

Mr. Mark Thoma, 7515 Drew Avenue, said that he and his neighbor, Russ Allen, have met with the developer on two occasions. He said that the developer's engineer has done extensive study of the drainage in the area and they have done a great job addressing the drainage concerns.

Mr. Thoma also asked about the rooftop units. Mr. Lee said they would be screened by a material similar to the roof.

There being no other public comments, Chairman Trzupek asked for questions and comments from the Commissioners regarding the final stormwater plan and the building elevations.

Commissioner Hoch thanked the petitioner for working with the residents. She said she has always liked the building but believes the changes make it even better.

In response to Commissioner Broline, Mr. Lee said that the manufacturer stated that the roof metal will take about two months to age and lose its shine. Mr. Lee said that it might take a bit longer.

Commissioner Broline said that he is pleased there is an agreement with the neighbors.

Commissioner Scott confirmed that the maximum roof height is 28 feet. He said that the building looks great and though it may not be a traditional home architecture, it is consistent with modern residential architecture.

Chairman Trzupsek asked if there would be any rooftop penetrations. Mr. Lee said they intended all of the rooftop penetrations to be inside the screened area for mechanical equipment. Chairman Trzupsek said it is very important to eliminate rooftop penetrations outside of the screened area.

Chairman Trzupsek also asked about maintenance of the ditch. Mr. Pollock said that if necessary they could consider an easement which allows the Village to do emergency maintenance at the expense of the property owner.

There being no further questions or comments, Chairman Trzupsek asked for a motion.

A **MOTION** was made by Commissioner Scott and **SECONDED** by Commissioner Hoch to approval the final stormwater plan and the building materials and elevations subject to final staff approval of the stormwater plans.

**ROLL CALL VOTE** was as follows:

**AYES:** 4 – Scott, Hoch, Praxmarer, Broline, and Trzupsek

**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 4-0.

## **VI. FUTURE SCHEDULED MEETINGS**

Mr. Pollock said the filing deadline for the March 6, 2017 meeting has passed and there are no hearings scheduled.

A **MOTION** was made by Commissioner Hoch and **SECONDED** by Commissioner Broline to cancel the March 6, 2017 meeting.

**ROLL CALL VOTE** was as follows:

**AYES:** 4 –Hoch, Broline, Scott, and Trzupsek

**NAYS:** 0 – None

**MOTION CARRIED** by a vote of 4-0.

## **II. ADJOURNMENT**

A **MOTION** was made by Commissioner Broline and **SECONDED** by Commissioner Scott to **ADJOURN** the meeting at 8:04 p.m. **ALL MEMBERS VOTING AYE**, the meeting was adjourned at 8:04 p.m.

**Respectfully  
Submitted:**

**February 20, 2017**

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J. Douglas Pollock, AICP



**VILLAGE OF BURR RIDGE  
COMMUNITY DEVELOPMENT DEPARTMENT  
STAFF REPORT AND SUMMARY**

**V-01-2017: 1333 Burr Ridge Parkway (In Site Real Estate); Requests variations from the Burr Ridge Zoning Ordinance to accommodate the expansion of an office building parking lot. Variations are requested from: Section XI.C.8 to permit parking to be located 60 feet from the front lot line (Burr Ridge Parkway) rather than 79.76 feet (i.e. the established front building setback line); Section XI.C.8 to permit additional parking between the building and the corner side lot line (north line along North Frontage Road) rather than the requirement prohibiting parking between the building and the corner side lot line; and Section XI.C.11.a(3)b to reduce the required landscaping along the north perimeter of the parking lot.**

**Prepared For:** Village of Burr Ridge Plan Commission / Zoning Board of Appeals  
Greg Trzupke, Chairman

**Prepared By:** Doug Pollock, AICP  
Community Development Director

**Date of Hearing:** February 20, 2017, continued from January 16, 2017 and February 6, 2017

**GENERAL INFORMATION**

**Petitioner:** Burr Ridge Parkway Limited Partnership

**Property Owner:** Burr Ridge Parkway Limited Partnership

**Petitioner's Status:** Property Owner

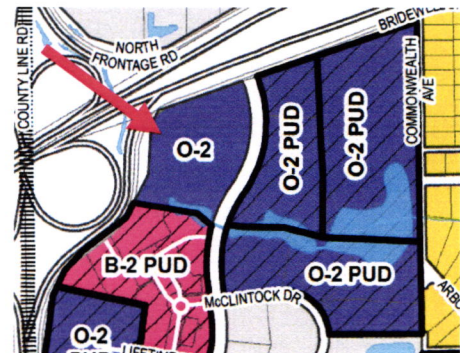
**Land Use Plan:** Recommends Office Use

**Existing Zoning:** O-2 Office and Hotel District

**Existing Land Use:** Office Building

**Site Area:** 10.184 Acres

**Subdivision:** Burr Ridge Corporate Park



## SUMMARY

The petitioner owns and manages the office building commonly known as the McGraw Hill building. They are proposing to expand the parking lot to accommodate future tenants.

The public hearing was scheduled for January 16, 2017 but continued to the February 6, 2017 meeting and again to February 20, 2017. Prior to the February 6 meeting, the petitioner amended the request to delete three variations (see additional information below).

### Zoning History

The following is a summary of zoning and permit history relevant to this request:

- In 1982, parking lot design variations were granted for this property and other properties in the Burr Ridge Corporate Park. A copy of the 1982 Ordinance is attached (A-25-7-82). Applicable to this request, the 1982 variations permit parking spaces to be 8.5' feet with 25 foot drive aisle and permit landscaping islands to be 4 feet wide. Current standards require 9 foot wide spaces with a 24 foot wide aisle and 9 foot wide landscaping islands. After consultation with the Village Attorney, it was determined that these variations run with land and remain applicable to this property. *Based on the 1982 variation, the petitioner has withdrawn the variations for the width of the parking stalls and landscaping islands.*
- In 1990, variations (Ordinance # A-454-2-90) were granted to allow the east lot line (Burr Ridge Parkway) to be considered the front lot line rather than the north lot line (Bridewell Drive); to permit parking in a corner side yard between the building and the north lot line; and to permit three loading berths rather than four located in the rear yard. The primary justification for these variations was the triple street frontage of the property and the preference for Burr Ridge Parkway to be considered the front yard. These variations also run with the land but their approval was limited to a specific site plan. Thus, the 1990 variation does not permit the proposed expansion of the parking lot.
- In 1992, a variation was granted to allow land banking of parking spaces. At that time, the floor area for the building for purposes of calculating parking requirements was determined to be 155,500 square feet. The Zoning Ordinance requirement for parking is and was in 1992, one space per 250 square feet of floor area. Thus, a total of 622 parking spaces are required for this building. The 1992 variation allowed land banking of 25 parking spaces and construction of 596 parking spaces. It is noted that the parking study prepared by the petitioner indicates a floor area of 149,312 square feet and a total of 565 built parking spaces and 25 land banked spaces.
- In 1992, a permit was issued for the construction of the building.

There have also been various interior alteration permits, sign variations, and sign permits issued for the property.

### Compliance with the Zoning Ordinance

The petitioner is seeking to expand the parking lot to "satisfy the increased parking demands of today's prospective office space tenants..." Staff has marked lines on the landscaping plan to more clearly show the expanded parking lot area. A copy of that sketch is attached.

Since the continuation of the public hearing on January 16, 2017, the petitioner has submitted revised plans and has withdrawn three of the requested variations. The revised plans are attached. The variations and amendments are summarized below.



- To permit parking to be located 60 feet from the front lot line (Burr Ridge Parkway) rather than 79.76 feet. The Zoning Ordinance prohibits parking extending closer to the front lot line than the building. The building is located 60 to 79.76 feet from the Burr Ridge Parkway lot line. Thus, the required parking lot setback from the Burr Ridge Parkway lot line is 79.76 feet. The existing parking lot setback is 80 feet from Burr Ridge Parkway.
- To permit additional parking between the building and the corner side lot line (along Bridewell Drive) rather than the requirement prohibiting parking between the building and the corner side lot line. The area between the building and Bridewell Drive is the corner side yard for this property as per the 1990 variation. The Zoning Ordinance prohibits parking between a building and a corner side lot line. The 1990 variation permitted parking in the corner side lot line but limited that parking to the approved site plan which provided for a 40 to 60 foot setback of the parking lot from Bridewell Drive. This petition seeks to add additional parking between the building and Bridewell Drive with a minimum 15 foot setback from the lot line.
- The petitioner requests a variation to reduce the required landscaping along the north side of the parking lot with the intent of moving some of the required plantings to the east side of the parking lot adjacent to Burr Ridge Parkway. The Zoning Ordinance requires continuous plantings and/or a berm at least five (5) feet high along the entire perimeter of the parking lot. The east and west lot lines have a berm and landscaping that will satisfy the 5 foot screening requirement.
- *The petitioner has withdrawn the request to permit parking lot light poles in excess of the maximum permitted height of 20 feet. The existing 35 foot light poles will be replaced with 20 foot poles and all new poles will comply with the maximum permitted height of 20 feet.*
- *As noted above, the petitioner has withdrawn the variation for the width of the parking spaces. The proposed parking spaces are 8.5' in width with a 25 foot aisle as per the 1982 variation.*
- *As noted above, the petitioner has withdrawn the variation for the width of the parking lot landscape islands. The proposed parking lot landscape islands will be 6 feet wide exceeding the 4 foot minimum allowed by the 1982 variation.*

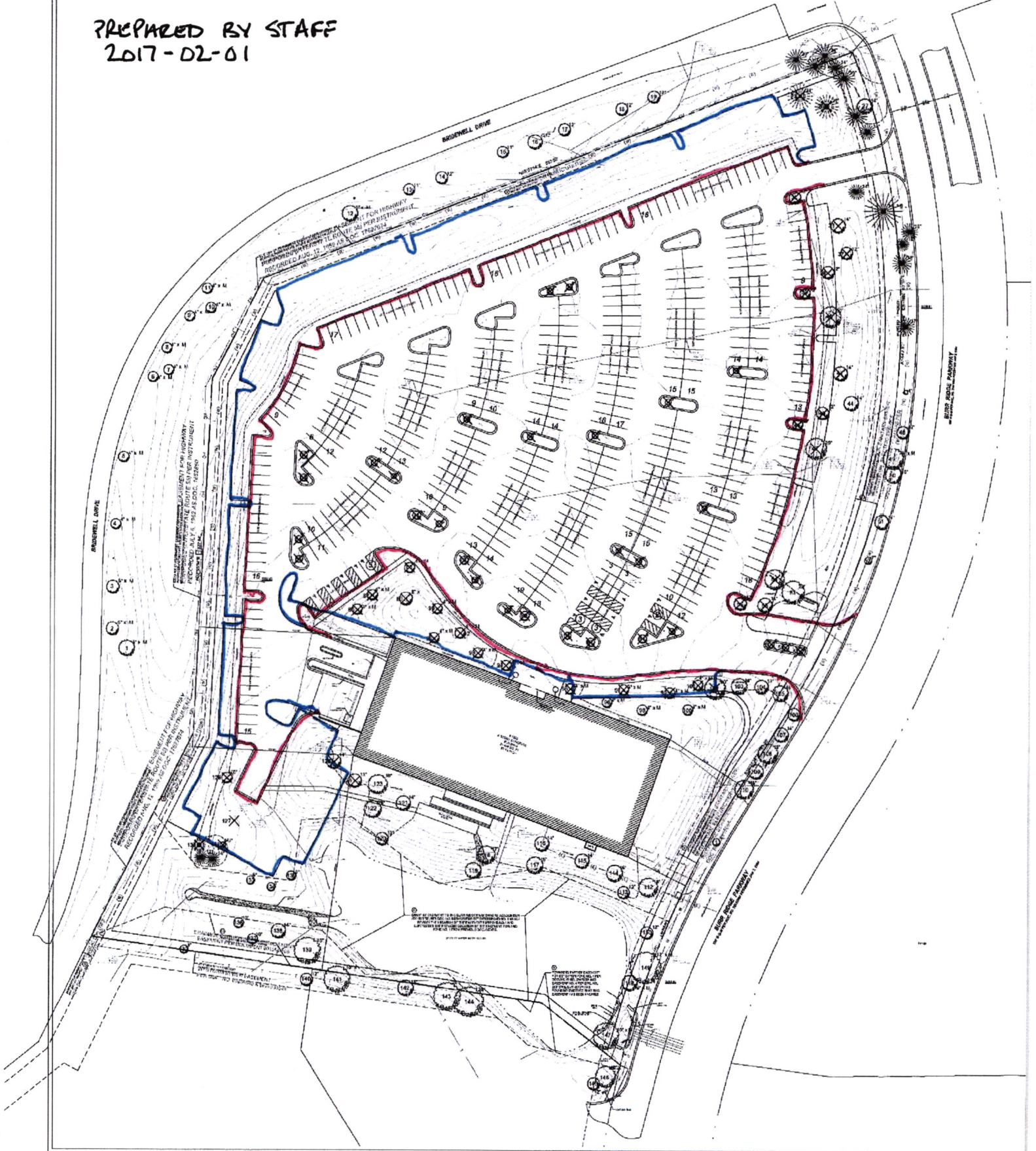
### **Findings of Fact**

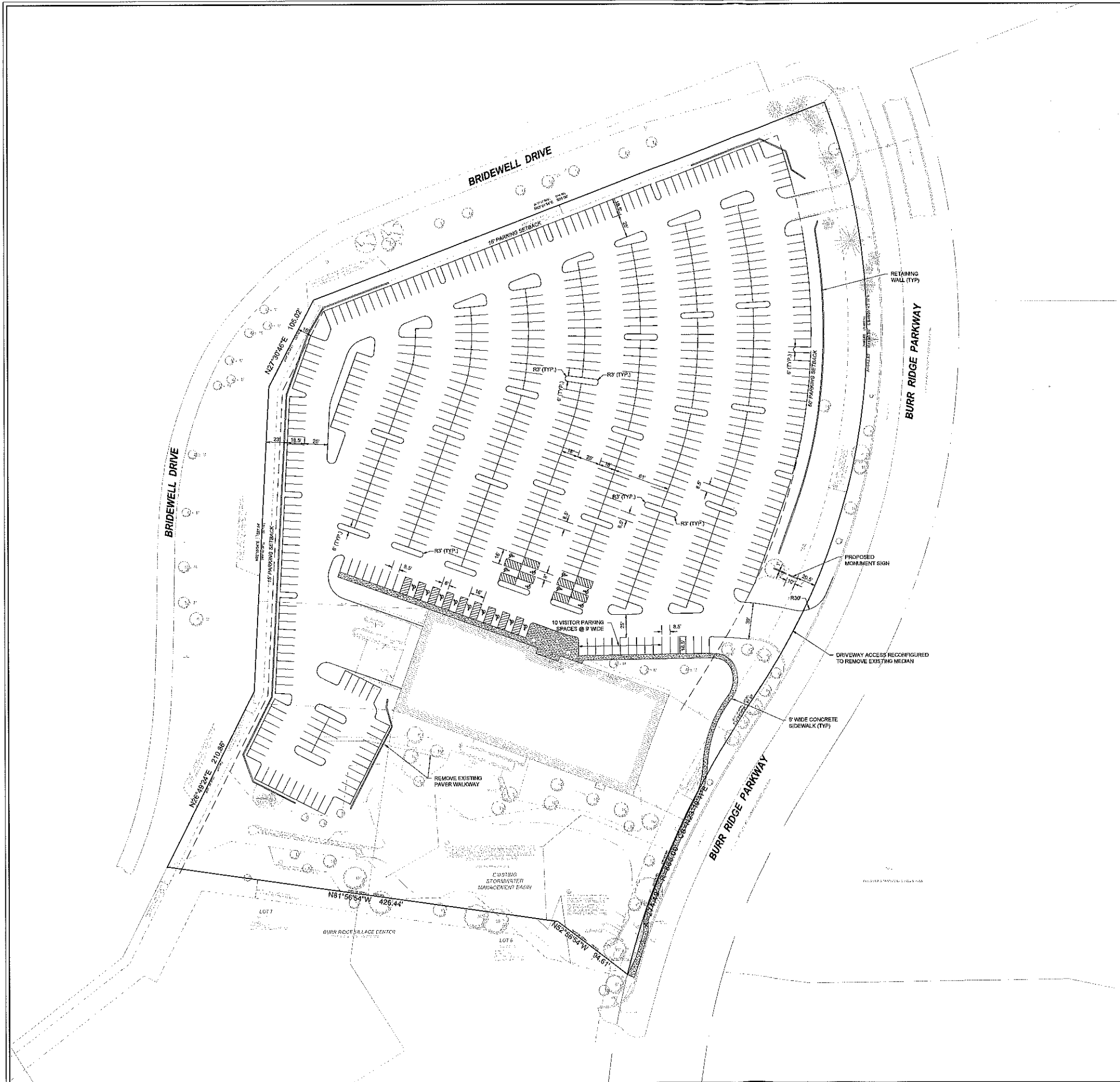
The petitioner has submitted findings of fact which may be adopted if the Plan Commission is in agreement. If the Commission determines that the standards for variations are met and recommends the requested variations, it is recommended that the approval be subject to compliance with the submitted plans and approval of the final landscaping plan by Village staff.

EXISTING ———

PROPOSED ———

PREPARED BY STAFF  
2017-02-01

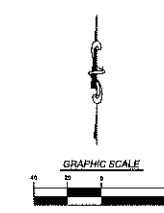





SITE DATA			
<b>ZONING</b>			
JURISDICTION: VILLAGE OF BURR RIDGE			
CLASSIFICATION: O2 - OFFICE & HOTEL			
<b>AREAS</b>			
LOT AREA: ± 10.184 AC (4,443,633 SF)			
BUILDING AREA: 149,312 SF			
<b>OPEN SPACE:</b>			
(TOTAL SITE AREA MINUS BUILDING FOOTPRINT REQUIRED PERIMETER SETBACK YARDS, PARKING LOTS SIDEWALKS AND PARKING LOT ISLANDS) = ± 2.91 AC (± 113,704 SF) / 25.6%			
<b>PARKING DIMENSIONS</b>			
	CURRENT	ORDINANCE	PROPOSED
STANDARD:	9'x18'	8.5'x18'	8.5'x18'
COMPACT:	n/a	9'x18'	n/a
ACCESSIBLE:	16'x18'	18'x18'	16'x18'
VISITOR:	n/a	n/a	9'x18'
<b>PARKING COUNT</b>			
	CURRENT (%)	ORDINANCE (%)	PROPOSED (%)
STANDARD:	52 (8%)	53 (8%)	73 (9%)
COMPACT:	0 (0%)	0 (0%)	0 (0%)
GARAGE:	50 (8%)	50 (8%)	50 (8%)
ACCESSIBLE:	13 (2%)	12 (2%)	17 (2%)
VISITOR:	30 (4%)	0 (0%)	10 (1%)
LAND BANK:	25 (4%)	0 (0%)	0 (0%)
TOTAL:	89	80	90
RT RW SF:	3.55	4.00	8.44
<b>DRIVE AISLE DIMENSIONS:</b>			
	CURRENT	ORDINANCE	PROPOSED
STANDARD:	24'	25'	25'
<b>PARKING SETBACKS</b>			
	CURRENT	ORDINANCE	PROPOSED
FRONT:	8'	7'	8'
CORNER SIDE:	6'	15'	19'
REAR:	4'	6'	23'
INTERIOR SIDE:	8'	8'	6'

- NOTES:
- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
  - ALL CURB AND GUTTER SHALL BE 66.12 UNLESS OTHERWISE NOTED.
  - THE MINIMUM ISLAND WIDTH (F-F) SHALL BE 6'.
  - ALL PROPOSED SIDEWALKS SHALL BE 6' WIDE CONCRETE UNLESS OTHERWISE SHOWN.
  - SIDEWALKS TO BE MIN. 8" THICK P.C.C. WITH MIN. 4" THICK COMPACTED GRANULAR, TYPE B SUB-BASE.
  - THE VILLAGE'S MINIMUM ASPHALT PAVEMENT SECTION FOR PARKING LOTS IS 2" SURFACE AND 12" AGGREGATE BASE. THE FINAL PAVING SECTION THICKNESS SHALL BE BASED ON A RECENT GEOTECHNICAL INVESTIGATION OF THE SITE.

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE (EXTERIOR)
---	---	EASEMENT LINE
---	---	CENTERLINE
---	---	CURB & GUTTER





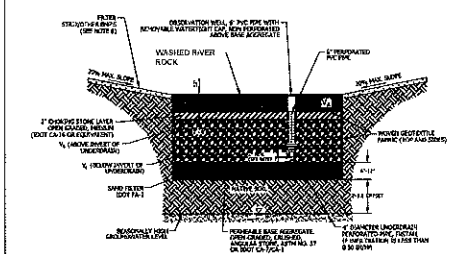
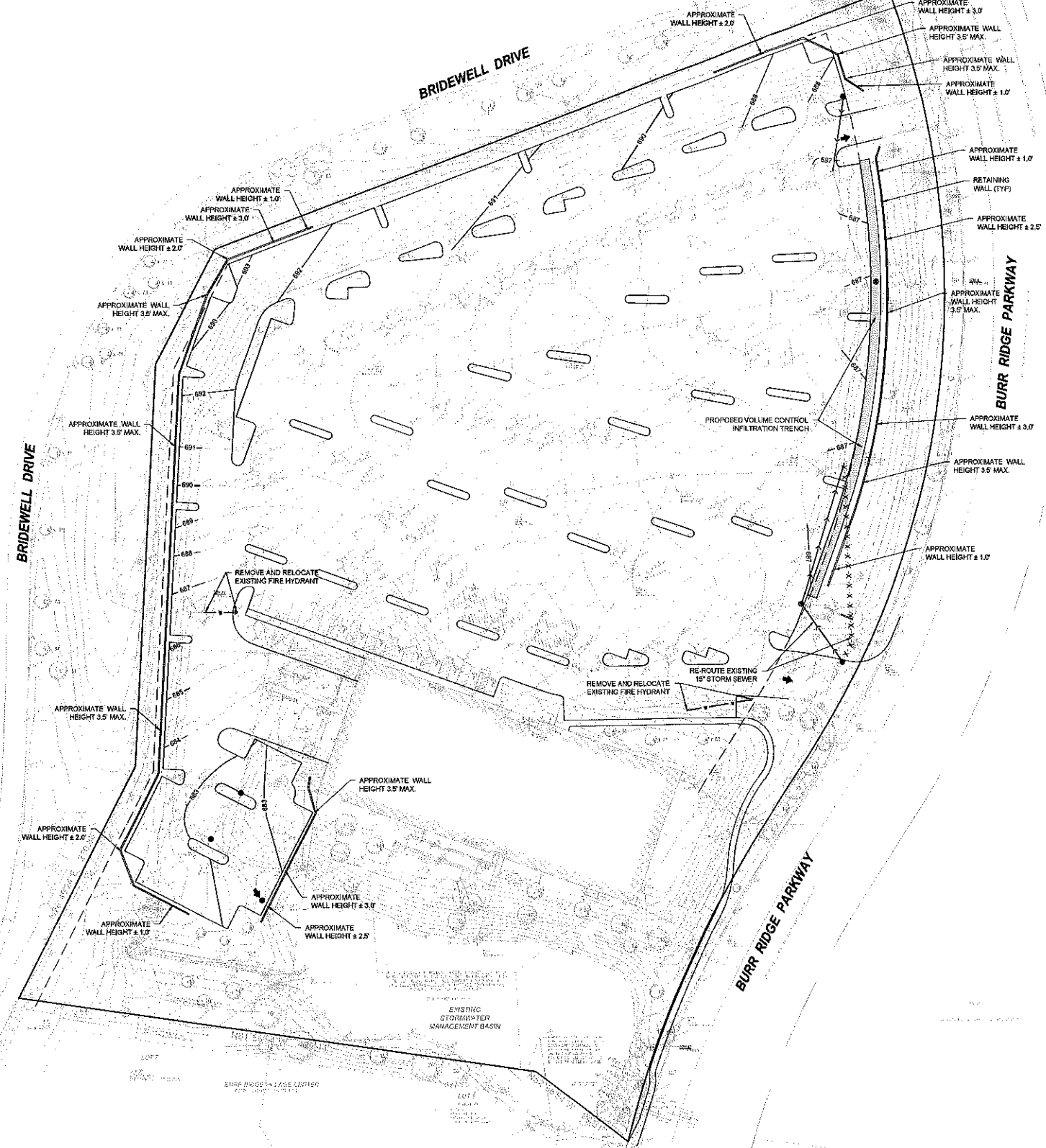
V&S Companies  
2500 N. Lincoln Hwy.  
Waukegan, IL 60087  
830.724.9200 phone  
830.724.9202 fax  
www.v366.com

NO.	DATE	DESCRIPTION	REVISED BY	DATE
1	11-20-16	ISSUED FOR VILLAGE REVIEW		
2	12-15-16	ISSUED FOR VILLAGE ZONING SUBMITTAL		
3	10-25-17	CLIENT COORDINATION		
4	10-31-17	CLIENT COORDINATION		

PRELIMINARY LAYOUT PLAN  
1333 BURR RIDGE PARKWAY  
BURR RIDGE, ILLINOIS

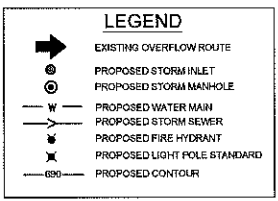
DRAWING NO.  
**C1.0**

00036-INSITE - PRELIMINARY LAYOUT PLAN



VOLUME TYPE	PERCENT	MEAN VOLUME	STORAGE VOLUME	VOLUME PROVIDED
ROCK	0.25	1.0	0.25	0.25
GRAVEL	0.25	1.0	0.25	0.25
SOIL	0.50	2.0	1.0	1.0
TOTAL				

- NOTES:**
1. ALL PAVEMENT SPOT GRADE ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
  2. MAX SLOPE ALONG SIDEWALKS IS 2.00% CROSS SLOPE AND 5.00% LONGITUDINAL SLOPE.
  3. "R" INDICATES RIM ELEVATION OF ALL STRUCTURES LOCATED OUTSIDE THE CURB LINE. FOR STRUCTURES LOCATED WITHIN THE CURB LINE, "R" INDICATES TOP OF CURB ELEVATION.
  4. PROPOSED RETAINING WALLS SHALL BE SEGMENTAL BLOCK NOT TO EXCEED 42" IN HEIGHT.
  5. ALL WATER MAIN TO BE 6" DUCTILE IRON CLASS 52 UNLESS OTHERWISE NOTED. ALL WATER MAIN LEADS TO FIRE HYDRANT TO BE 9" DUCTILE IRON CL 52 UNLESS OTHERWISE NOTED.
  6. ALL STORM SEWER TO BE 12" UNLESS OTHERWISE NOTED.
  7. STORM SEWER UNDER PAVED SURFACES SHALL BE RCP CL IV. IN ALL OTHER LOCATIONS STORM SEWER SHALL BE EITHER RCP CL III OR PVC SDR 26.
  8. ALL UTILITIES UNDER OR WITHIN 3' OF THE STREETS WILL REQUIRE GRANULAR TRENCH BACKFILL.



- NOTES:**
1. ALL PAVEMENT SPOT GRADE ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
  2. MAX SLOPE ALONG SIDEWALKS IS 2.00% CROSS SLOPE AND 5.00% LONGITUDINAL SLOPE.
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  8. ALL UTILITIES UNDER OR WITHIN 3' OF THE STREETS WILL REQUIRE GRANULAR TRENCH BACKFILL.

US CONSULTANTS  
7325 JAMES AVENUE  
WOODRIF, IL 60517  
850.724.9200 phone  
850.724.9202 fax  
WWW.USCONSULTANTS.COM



NO.	DATE	DESCRIPTION
1	11-23-16	ISSUED FOR VILLAGE REVIEW
2	12-19-16	ISSUED FOR VILLAGE ZONING SUBMITTAL
3	01-25-17	CLIENT CORRECTION
4	10-07-17	CLIENT CORRECTION

PROJECT NO.	DATE	TASK	RESPONSIBLE
C2.0	11-23-16	DESIGN	DB
	11-23-16	DESIGN	TJK
	11-23-16	DESIGN	AMP

PRELIMINARY GRADING AND STORMWATER PLAN  
1333 BURR RIDGE PARKWAY  
BURR RIDGE  
ILLINOIS

GRAPHIC SCALE  
1" = 40'

C2.0

### Site Preparation and Removals Legend

☒ Item to be removed

### Site Preparation and Removals Notes

- Contractor shall install tree protection fencing as shown on the plans prior to beginning work. Maintain and adjust tree protection fencing as needed during progress of construction. Storage of materials, vehicular access, and all other construction activities are strictly prohibited within the limits of the tree protection fencing.
- Tree stumps shall be ground to a minimum depth of 18" below existing grade or as required to properly perform the work.
- Remove and dispose of turf where planting beds are designated. Refer to Planting Plan for limits of proposed landscape improvements.



V3 CONSULTANTS  
7325 James Avenue  
Woodridge, IL 60517  
630-724-9200 phone  
630-724-9202 fax  
www.v3consultants.com



THIS PROJECT: 1333 BURR RIDGE PARKWAY, BURR RIDGE, ILLINOIS

### Existing Tree Inventory

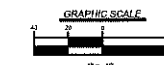
NO.	SPECIES	SIZE	CONDITION	NOTES	NO.	SPECIES	SIZE	CONDITION	NOTES
1	ALDER	8"	FAR	PRESERVE	78	LOCUST	8"	GOOD/FAR	REMOVE
2	ALDER	8"	FAR	PRESERVE	79	LOCUST	8"	GOOD/FAR	REMOVE
3	ALDER	8"	FAR	PRESERVE	80	LOCUST	8"	GOOD/FAR	REMOVE
4	ALDER	8"	FAR	PRESERVE	81	LOCUST	8"	GOOD/FAR	REMOVE
5	ALDER	8"	FAR	PRESERVE	82	LOCUST	8"	GOOD/FAR	REMOVE
6	ALDER	8"	FAR	PRESERVE	83	LOCUST	8"	GOOD/FAR	REMOVE
7	ALDER	8"	FAR	PRESERVE	84	LOCUST	8"	GOOD/FAR	REMOVE
8	ALDER	8"	FAR	PRESERVE	85	LOCUST	8"	GOOD/FAR	REMOVE
9	ALDER	8"	FAR	PRESERVE	86	LOCUST	8"	GOOD/FAR	REMOVE
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13	LOCUST	8"	GOOD/FAR	PRESERVE	90	LOCUST	8"	GOOD/FAR	REMOVE
14	LOCUST	8"	GOOD/FAR	PRESERVE	91	LOCUST	8"	GOOD/FAR	REMOVE
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28	PINE	24"	GOOD/FAR	PRESERVE	105	LOCUST	8"	GOOD/FAR	REMOVE
29	PINE	24"	GOOD/FAR	PRESERVE	106	LOCUST	8"	GOOD/FAR	REMOVE
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31	PINE	14"	GOOD/FAR	PRESERVE	108	LOCUST	8"	GOOD/FAR	REMOVE
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75	LOCUST	12"	GOOD/FAR	REMOVE					

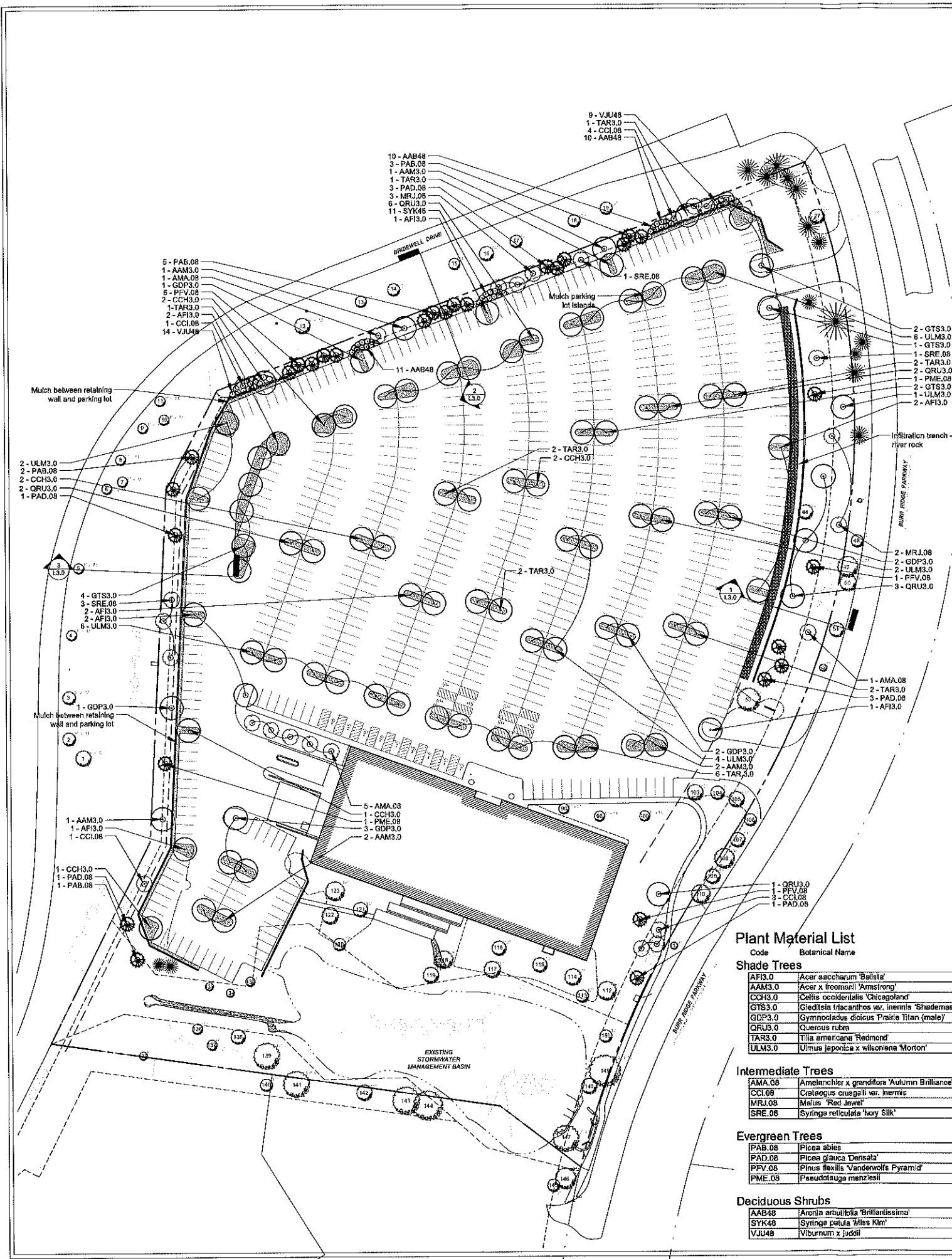
NO.	DATE	DESCRIPTION
1	11-20-16	ISSUED FOR VILLAGE REVIEW
2	12-19-16	ISSUED FOR VILLAGE ZONING SUBMITTAL
3	01-25-17	CLIENT CORRECTION
4	01-25-17	CLIENT CORRECTION

NO.	DATE	DESCRIPTION
1	11-20-16	ISSUED FOR VILLAGE REVIEW
2	12-19-16	ISSUED FOR VILLAGE ZONING SUBMITTAL
3	01-25-17	CLIENT CORRECTION
4	01-25-17	CLIENT CORRECTION

PRELIMINARY EXISTING LANDSCAPE PLAN  
1333 BURR RIDGE PARKWAY  
BURR RIDGE  
ILLINOIS

DRAWING NO. L1.0



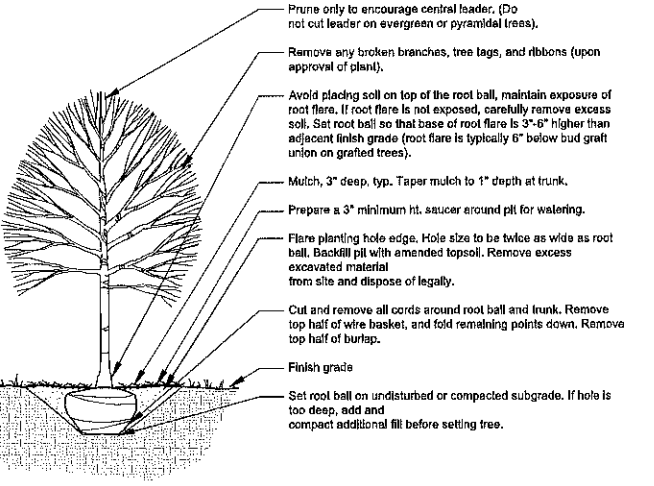


**Landscape Legend**

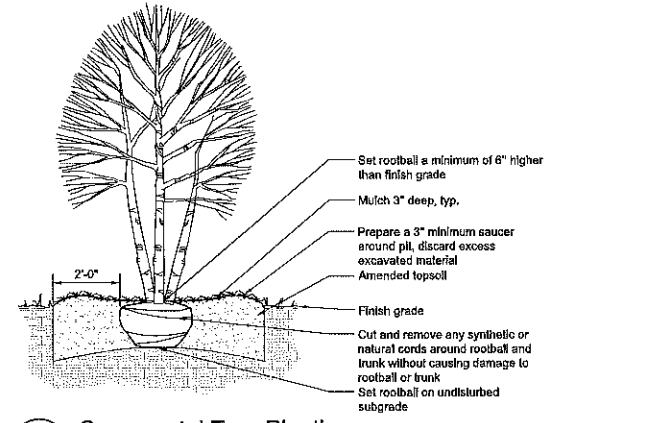
- Shade Tree, typical. See detail for installation.
- Ornamental Tree, typical. See detail for installation.
- Evergreen Tree, typical. See detail for installation.
- Infiltration Trench
- Mulched Area

**Landscape Notes**

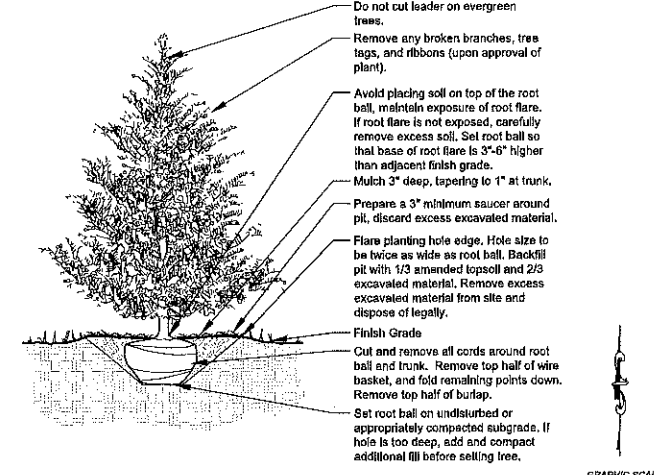
1. Seed/Sod link line is approximate. Seed/Sod to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area.
2. Contractor responsible for erosion control in all seeded/sodded areas.
3. Tree mulch rings in turf areas are 5 foot diameter, typical. Contractor shall provide a mulching around all existing trees within the limit of work. Remove all existing grass from area to be mulched and provide a typical v-trench edge.
4. Declines are to be spade cut to a minimum depth of 3 inches unless otherwise shown on the plans. Curved declines are to be smooth and not segmented.
5. Do not locate plants within 10' of utility structures, or within 5' horizontally of underground utility lines unless otherwise shown on the plans. Consult with Landscaping Architect if these conditions exist.
6. FOR LUMP SUM CONTRACTS, Plants and other materials are quantified and summarized for the convenience of the Owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn and specified. No additional payments will be made for materials required to complete the work as drawn and specified.
7. FOR UNIT PRICE CONTRACTS, Payments will be made based on actual quantities installed as measured in place by the Owners Representative.
8. Refer to specifications for additional conditions, standards and notes.



**1 Deciduous Tree Planting**



**2 Ornamental Tree Planting**



**3 Evergreen Tree Planting**

**Plant Material List**

Code	Botanical Name	Common Name	Size	Qty
<b>Shade Trees</b>				
AFB3.0	<i>Acer saccharum</i> 'Ballista'	Foli Flossia Sugar Maple	3" C	11
AAM3.0	<i>Acer x freemanii</i> 'Armstrong'	Armstrong Red Maple	3" C	7
GCH3.0	<i>Celtis occidentalis</i> 'ChicagoLand'	ChicagoLand Hackberry	3" C	8
GTS3.0	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Shademaster'	Shademaster Thornless Honeylocust	3" C	9
GDP3.0	<i>Gymnocladia dioica</i> 'Prairie Titan (male)'	Prairie Titan Kentucky Coffeetree	3" C	9
QRU3.0	<i>Quercus rubra</i>	Red Oak	3" C	14
TAR3.0	<i>Tilia americana</i> 'Redmond'	Redmond American Linden	3" C	17
ULM3.0	<i>Ulmus japonica x wilsoniana</i> 'Morton'	Accolade™ Elm	3" C	21
<b>Intermediate Trees</b>				
AMA.08	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8' HT	7
CCL.08	<i>Catalpa bignonioides</i> var. <i>inermis</i>	Thornless Cocksfoot Hawthorn	8' HT	9
MRL.08	<i>Malus</i> 'Red Jewel'	Red Jewel Flowering Crabapple	8' HT	5
SRE.08	<i>Syringa reticulata</i> 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	8' HT	5
<b>Evergreen Trees</b>				
PAB.08	<i>Picea abies</i>	Norway Spruce	8' HT	11
PAD.08	<i>Picea glauca</i> 'Densata'	Black Hills White Spruce	8' HT	9
PFV.08	<i>Pinus flexilis</i> 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Lumber Pine	8' HT	7
PME.08	<i>Pseudotsuga menziesii</i>	Douglas Fir	8' HT	2
<b>Deciduous Shrubs</b>				
AAB48	<i>Aronia arbutifolia</i> 'Brilliantissima'	Brilliant Red Chokeberry	48" HT	21
SYK48	<i>Syringa patula</i> 'Miss Kim'	Miss Kim Manchurian Lilac	48" HT	11
VJU48	<i>Viburnum x juddii</i>	Judd Viburnum	48" HT	23

**HITCHCOCK DESIGN GROUP**  
 7335 James Avenue  
 Burr Ridge, IL 60521  
 630.754.9200 phone  
 630.754.9202 fax  
 www.hdg.com

**V3 Companies**  
 7325 James Avenue  
 Burr Ridge, IL 60521  
 630.754.9200 phone  
 630.754.9202 fax  
 www.v3.com

**REVISIONS**

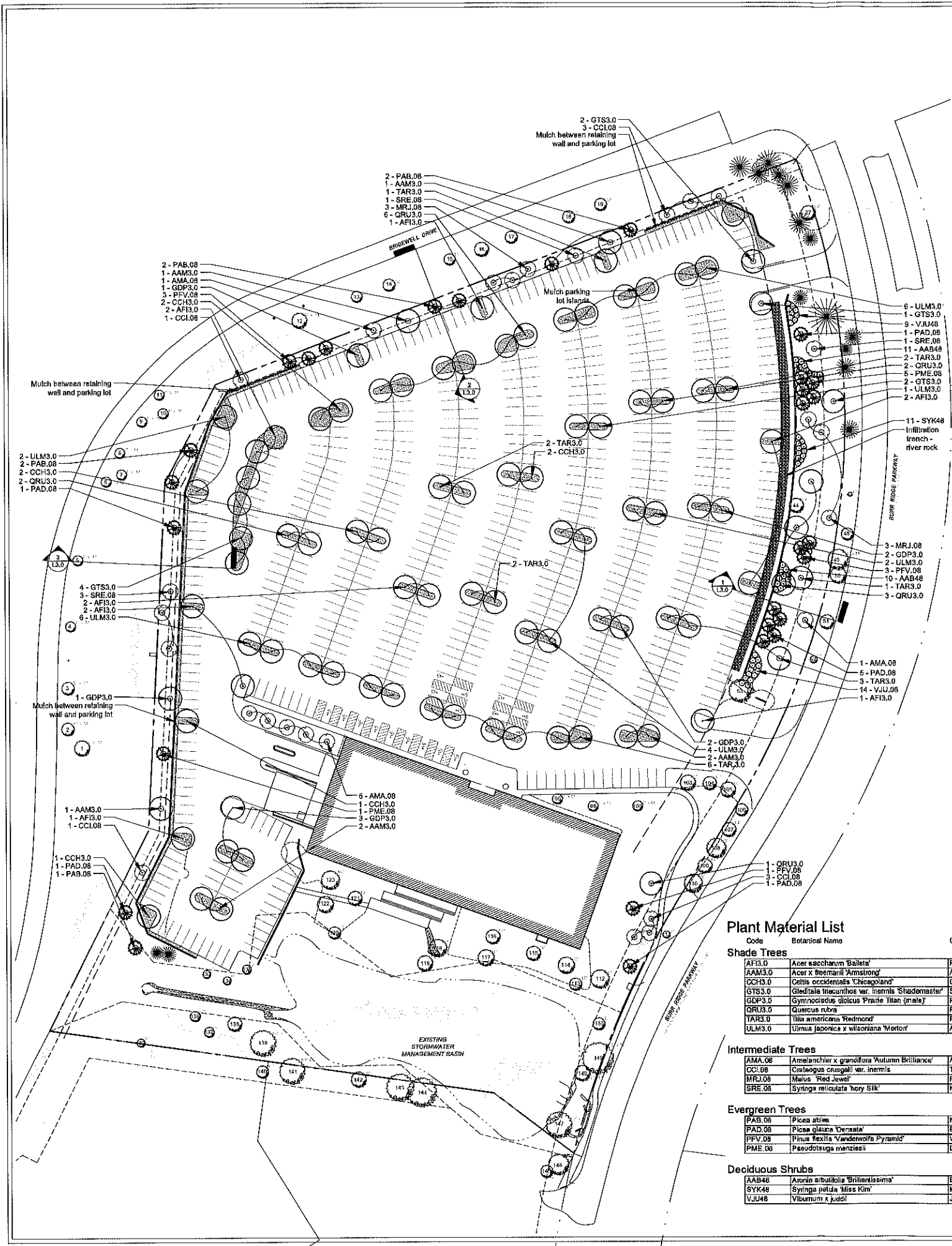
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1	11/23/16	ISSUED FOR VILLAGE REVIEW		
2	12/15/16	ISSUED FOR VILLAGE ADMINISTRATION		
3	07/25/17	CLIENT COORDINATION		
4	07/27/17	CLIENT COORDINATION		

**NORTH PERIMETER ADDITIONAL LANDSCAPE**  
**PRELIMINARY PROPOSED LANDSCAPE PLAN**  
**1333 BURR RIDGE PARKWAY**  
 BURR RIDGE  
 ILLINOIS

SCALE: 1"=40'

DRAWING NO. **L2.1**

DATE: 10/10/17 12:13 PM

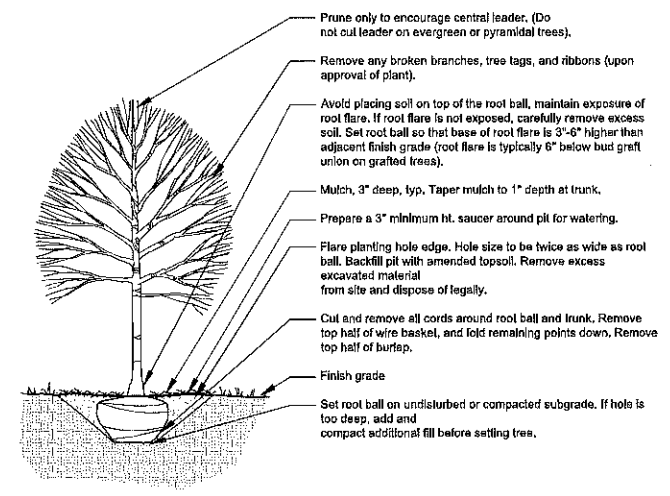


**Landscape Legend**

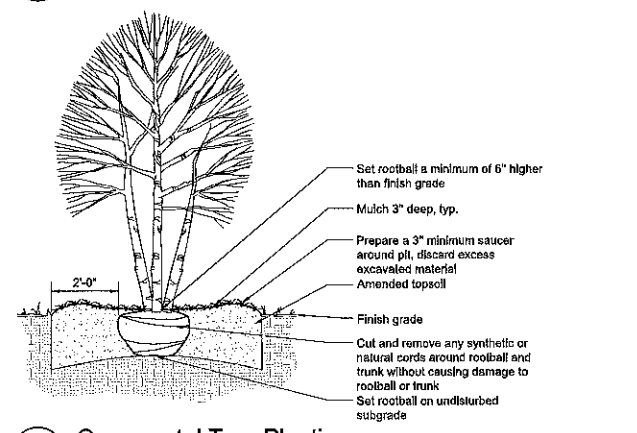
- Shade Tree, typical. See detail for installation.
- Ornamental Tree, typical. See detail for installation.
- Evergreen Tree, typical. See detail for installation.
- Infiltration Trench
- Mulched Area

**Landscape Notes**

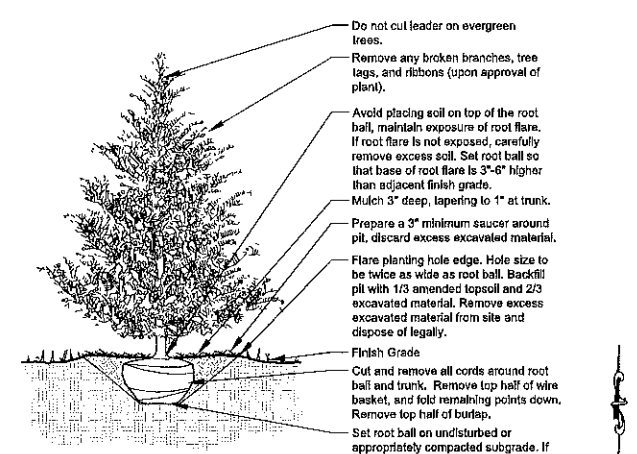
1. Seed/Sod limit line is approximate. Seed/Sod to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area.
2. Contractor responsible for erosion control in all seeded/sodded areas.
3. Tree mulch rings in turf areas are 5 foot diameter, typical. Contractor shall provide a mulch ring around all existing trees within the limit of work. Remove all existing grass from area to be mulched and provide a typical v-trace edge.
4. Bedlines are to be spade cut to a minimum depth of 3 inches unless otherwise shown on the plans. Curved bedlines are to be smooth and not segmented.
5. Do not locate plants within 10' of utility structures, or within 5' horizontally of underground utility lines unless otherwise shown on the plans. Consult with Landscape Architect if these conditions exist.
6. FOR LUMP SUM CONTRACTS, Plants and other materials are quantified and summarized for the convenience of the Owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn and specified. No additional payments will be made for materials required to complete the work as drawn and specified.
7. FOR UNIT PRICE CONTRACTS, Payments will be made based on actual quantities installed as measured in place by the Owners Representative.
8. Refer to specifications for additional conditions, standards and notes.



**1 Deciduous Tree Planting**



**2 Ornamental Tree Planting**



**3 Evergreen Tree Planting**

**Plant Material List**

Code	Botanical Name	Common Name	Size	Qty
<b>Shade Trees</b>				
AFI3.0	<i>Acer saccharum</i> 'Baileta'	Fall Fiesta Sugar Maple	3" C	11
AAM3.0	<i>Acer x freemanii</i> 'Armstrong'	Armstrong Red Maple	3" C	7
CCH3.0	<i>Celtis occidentalis</i> 'ChicagoLand'	ChicagoLand Hackberry	3" C	8
GTS3.0	<i>Gleditsia inaequalis</i> var. <i>inermis</i> 'Shademaster'	Shademaster Thornless Honeylocust	3" C	9
GDP3.0	<i>Gymnocladia dioica</i> 'Prinse Titan (male)'	Prinse Titan Kentucky Coffeetree	3" C	9
QRU3.0	<i>Quercus rubra</i>	Red Oak	3" C	14
TAR3.0	<i>Tilia americana</i> 'Redmond'	Redmond American Linden	3" C	17
ULM3.0	<i>Ulmus japonica</i> x <i>wilsoniana</i> 'Morton'	Accolade™ Elm	3" C	21
				98
<b>Intermediate Trees</b>				
AMA.08	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6' HT	7
CC.08	<i>Catalpa bignonioides</i> var. <i>inermis</i>	Thomas Cockspur Hawthorn	6' HT	5
MRJ.08	<i>Malus</i> 'Red Jewel'	Red Jewel Flowering Crabapple	6' HT	6
SRE.08	<i>Syringa reticulata</i> 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	6' HT	5
				26
<b>Evergreen Trees</b>				
PAB.08	<i>Picea abies</i>	Norway Spruce	6' HT	5
PAD.08	<i>Picea glauca</i> 'Denata'	Black Hills White Spruce	6' HT	10
PFV.08	<i>Pinus flexilis</i> 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Limber Pine	6' HT	7
PME.08	<i>Pseudotsuga menziesii</i>	Douglas Fir	6' HT	6
				28
<b>Deciduous Shrubs</b>				
AAB48	<i>Aronia arbutifolia</i> 'Brilliantissima'	Brilliant Red Chokeberry	48" HT	21
SYK48	<i>Syringa patula</i> 'Miss Kim'	Miss Kim Manchurian Lilac	48" HT	11
VJU48	<i>Viburnum x juddii</i>	Judd Viburnum	48" HT	23
				55

**HITCHCOCK DESIGN GROUP**  
 73 Companies  
 7326 James Avenue  
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 www.hdg.com

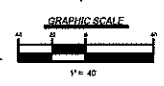


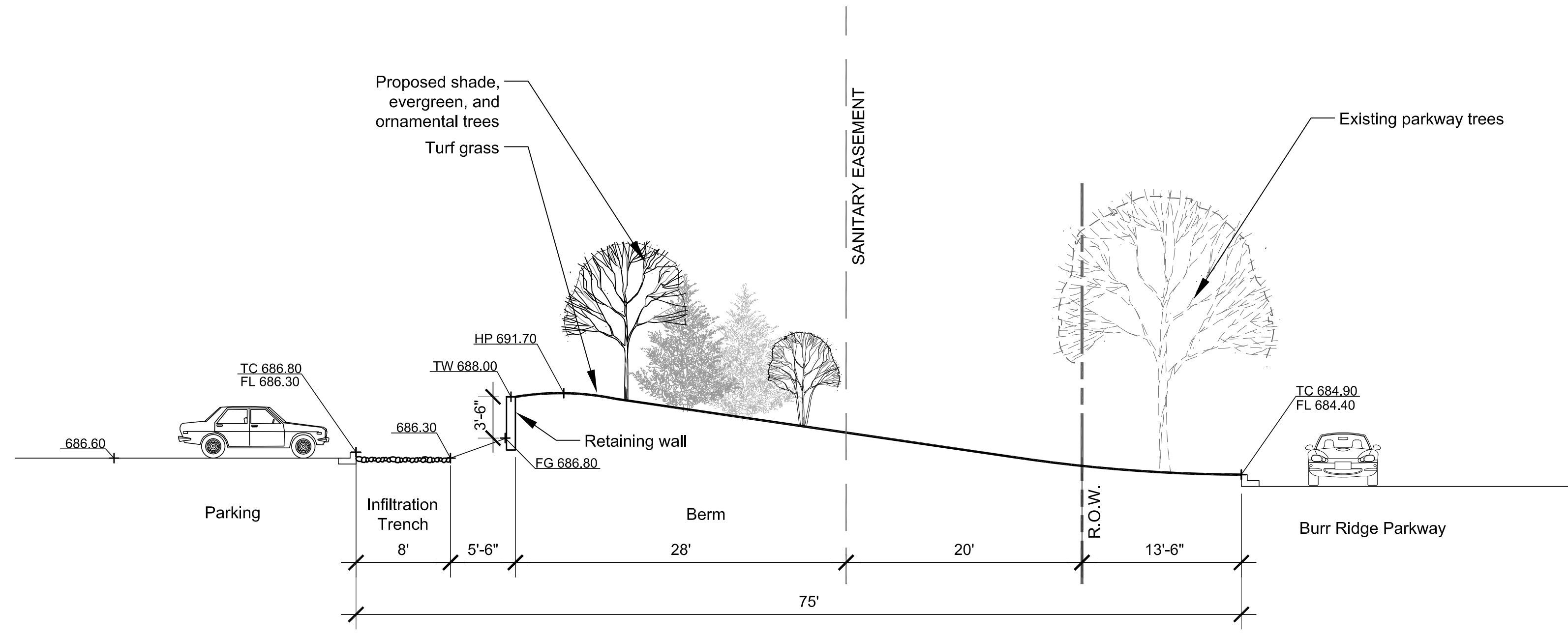
**REVISIONS**

NO.	DATE	DESCRIPTION
1	11-03-16	ISSUED FOR VILLAGE REVIEW
2	12-09-16	ISSUED FOR VILLAGE ZONING SUBMITTAL
3	01-28-17	CLIENT COORDINATION
4	01-31-17	CLIENT COORDINATION

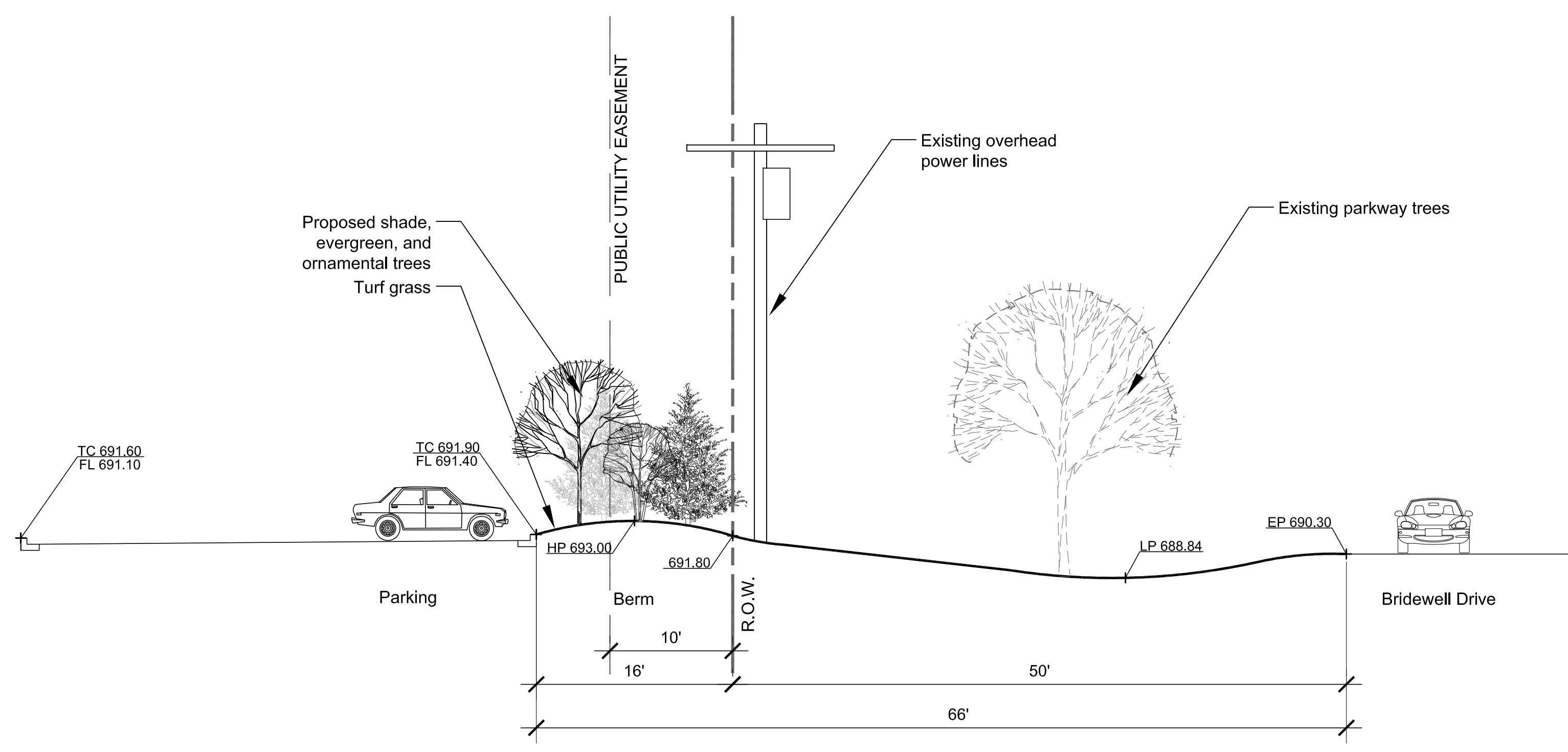
**EAST PERIMETER ADDITIONAL LANDSCAPE**  
**PRELIMINARY PROPOSED LANDSCAPE PLAN**  
**1333 BURR RIDGE PARKWAY**  
 BURR RIDGE  
 ILLINOIS

0038-INSITE - PRELIMINARY LAYOUT PLAN  
 DRAWING NO. **L2.2**

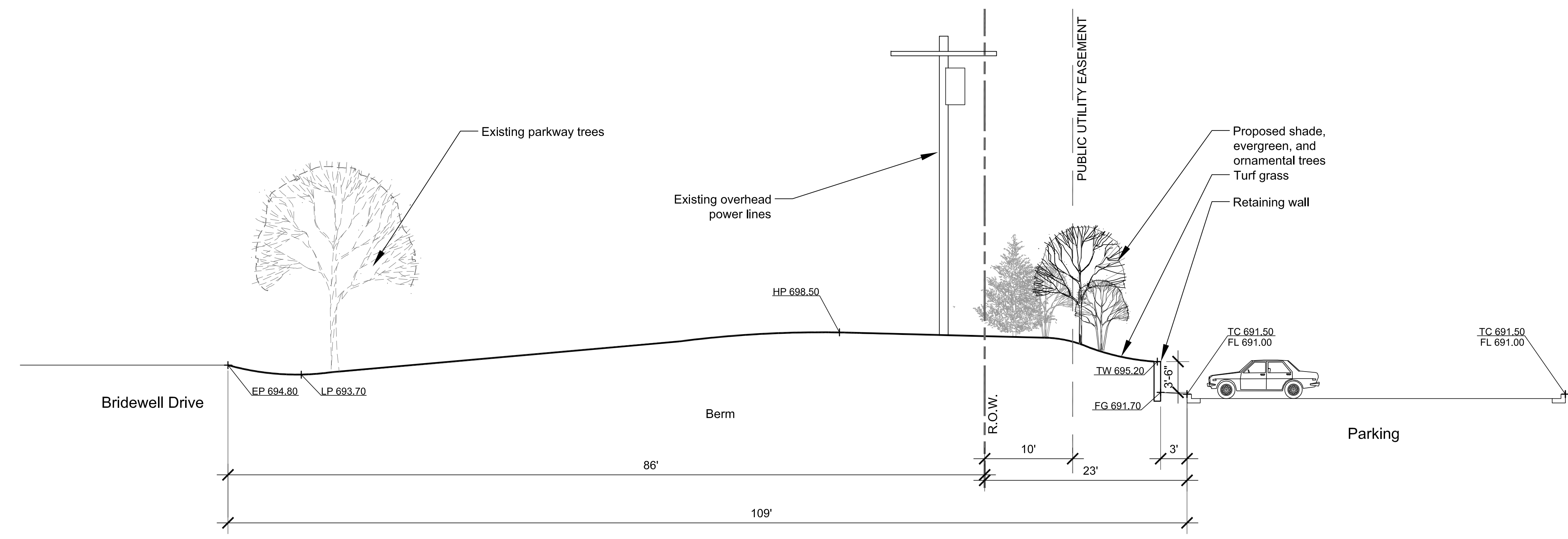




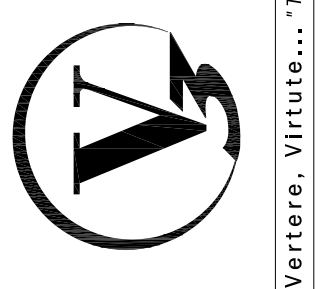
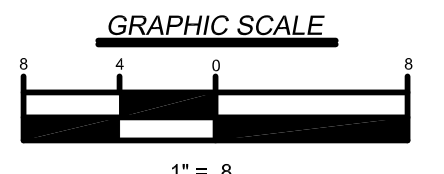
**1** Typical Section - East  
Scale: 1/8" = 1'-0"



**2** Typical Section - North  
Scale: 1/8" = 1'-0"



**3** Typical Section - West  
Scale: 1/8" = 1'-0"



NO.	DATE	DESCRIPTION

DESIGNED BY:	TCK

PROJECT NO.:	00039 INSITE

FILE NAME:	03-TYPICAL SECTIONS.DWG

ORIGINAL ISSUE DATE:	11-30-16

SCALE:	

DESIGNED BY:	TCK

DRAWN BY:	MPV

CHECKED BY:	TCK

PROJECT MANAGER:	TCK

PROJECT NO.:	00039 INSITE

FILE NAME:	03-TYPICAL SECTIONS.DWG

ORIGINAL ISSUE DATE:	11-30-16



MEMORANDUM TO: Bob Schmude  
Insite Real Estate, LLC

FROM: Eric D. Russell, PE, PTOE, PTP  
Principal

Luay R. Aboona, PE  
Principal

DATE: January 20, 2017

SUBJECT: Review of Proposed Expanded Parking Plan  
1333 Burr Ridge Parkway  
Burr Ridge, Illinois

This memorandum summarizes our review of the proposed expanded parking plan for the existing office building at 1333 Burr Ridge Parkway in Burr Ridge, Illinois. The five-story, approximately 149,312 square-foot building has a current parking supply of 590 spaces, including 515 spaces in a surface parking lot, 50 spaces in a garage beneath the building, and 25 land-banked spaces. The resulting parking ratio is 3.95 spaces per 1,000 square feet, which is consistent with the Village's minimum parking ratio (4.0) in the O-2 (Office & Hotel) zoning category.

To attract a wider range of tenants, the building owner desires to increase the parking supply on the site to 817 spaces, which represents a parking ratio of 5.47 spaces per 1,000 square feet. To accommodate the additional 227 spaces, the proposal calls for narrowing the employee parking stalls on the site from the Village Code requirement of 9'-0" wide to a new stall width of 8'-6", and expanding the parking field into currently landscaped areas. The length of the parking stalls and the width of the drive aisles are intended to remain at the Village Code requirement of 18'-0" and 24'-0", respectively. The proposed parking layout is included in the Appendix of this memorandum.

The purpose of this memorandum is to review trends in office parking demand and vehicle sizing, research local and national parking stall dimensions for office uses, and opine on the adequacy of a narrower parking stall to achieve a higher parking capacity on the site.

### **Trends in Office Space Utilization and Parking Demand**

Trends that have been occurring in the office market have direct impacts on parking supply and demand. Office spaces are becoming less compartmentalized and feature more collaborative open floor plans with work stations. Telecommuting is also more prevalent now and non-dedicated office space is being shared by these employees. New technologies have reduced the amount of office space dedicated to machinery and filing systems, and this extra space has been converted into additional work stations. These trends are causing tenants to downsize their offices without reducing staff sizes, which opens up leasable space in buildings for additional tenants and employees.

As a result, office density has increased from the old standard of 250 square feet per employee to around 185 to 195 square feet per employee. Yet the required parking ratios for office developments in many suburban municipalities such as Burr Ridge remain at 4.0 spaces per 1,000 square feet (1.0 space/250 square feet) which makes it more difficult for landlords to re-lease office space to meet the parking needs of many current businesses that require 5.0 to 6.0 spaces per 1,000 square feet.

## **Trends in Vehicle Sizes**

Parking stall dimensions have varied over the past 50 years as passenger vehicle sizes have changed. As noted in the *Traffic Engineering Handbook*, 7<sup>th</sup> Edition, published by the Institute of Transportation Engineers, larger vehicles from the 1960s transitioned to smaller vehicles in the post oil-embargo years leading into the 1980s. The trend reversed in the 1980s and 1990s as vehicles began to increase again in size led by the sports utility vehicle and minivan, and there was a progressive size creep within the various vehicle classifications into the 2000s. While the spike in gas prices to \$4 a gallon in the summer of 2008 resulted in a demand for more fuel efficient vehicles, including vehicles with hybrid and electric engines, vehicle sizes did not contract but have stabilized in the years since 2008.

Research conducted by KLOA on vehicle sizing across multiple vehicle classifications (e.g. compact sedans, mid-size sedans, full-size sedans, compact SUVs, crossover SUVs, full-size SUVs) indicates that the average vehicle width across all sedan and SUV classifications has remained relatively the same since 2006 at 6'-0" for sedans and 6'-3" for SUVs. A summary of the yearly vehicle dimensional averages (2006-2017) are contained in the Appendix.

## **Published Parking Stall Standards**

According to *The Dimensions of Parking*, 5<sup>th</sup> Edition, 2010, jointly published by the Urban Land Institute and the National Parking Association, the dimensions of parking facilities should be geared to the needs of the users. Parking stalls that are expected to have higher turnover rates (shopping centers, medical facilities) should have more generous dimensions and clearances than those for lower turnover uses (employee parking, offices, commuter lots). The publication further advises that the widths of parking spaces have generally been based on required clearances for opening doors, with door opening clearances ranging from 20" in low turnover facilities to 24" to 27" in high-turnover facilities, as well as the maneuvering space allotted by the aisle width and the angle of parking. The publication notes that an aisle width of 23'-0" is common for a perpendicular (90 degree) parking stall angle.

Parking facilities are also sized to accommodate a "design" vehicle, which by industry standards is the 85<sup>th</sup>-percentile dimensions for length and width, as determined annually by the Parking Consultants Council based on annual automobile and light truck manufacturing data for the U.S. vehicle fleet. The current design vehicle is 6'-7" wide (79"), which has not changed since 1999. The width of the design vehicle is comparable to the width of a Ford Explorer or Toyota Sequoia (large SUV vehicle classification), which exceeds the average vehicle width of all sedan and SUV classifications, as determined from KLOA's research on vehicle sizing.

The combination of the design vehicle width (79") and the required door opening clearance yields a parking stall width that ranges from 8'-3" to 9'-0". The publication's recommended minimum parking stall width for low turnover uses (employees) ranges from 8'-3" to 8'-6" and for low-to-moderate turnover uses (offices) ranges from 8'-6" to 8'-9". Excerpts from the *Dimensions of Parking* publication are included in the Appendix.

## **Local Parking Codes for Low Turnover Uses**

The Village of Burr Ridge does not currently have an alternate parking stall specification for low turnover uses as many other suburban communities in the Chicago area do. An office building would generally be considered a low turnover use as most of the parking spaces tend to be filled in the morning when employees arrive and vacated in the evening when employees depart. Spaces dedicated for visitors may turn over more frequently over the course of the day and are typically designed for higher turnover users.

**Table 1** provides a sampling of permitted parking stall width reductions for low turnover uses from the zoning codes of several nearby communities that have the same 9'-0" parking stall width standard as Burr Ridge. As can be seen, these communities generally permit a 6" stall width reduction (to 8'-6") for low turnover uses. Several other area communities maintain an 8'-6" parking stall width standard for all uses, and a couple of these communities (e.g. La Grange, Lombard) permit a further stall width reduction of 3" to 6" (to 8'-0" or 8'-3") for low turnover uses. The City of Chicago has a standard parking stall width of 8'-0" for all uses.

There are many examples of office developments in the Chicago area, comparable to 1333 Burr Ridge Parkway, that have parking fields with narrower parking stalls than specified by Code. One nearby example is Mid-America Plaza in Oakbrook Terrace where parking stalls range in width from 8'-0" to 8'-9" in areas utilized by employees, visitors, and patrons of Ditka's Restaurant and the Oakbrook Terrace Park District Fitness Center. The Oakbrook Terrace zoning code specifies a 9'-0" parking stall standard.

## **Recommendations**

Based on our review of the 1333 Burr Ridge Parkway site plan and our research of national parking publications and the zoning codes of several Chicago area municipalities, it is our professional opinion that a parking stall dimension of 8'-6" wide by 18'-0" long is adequate and appropriate for a low turnover use such as an office building, particularly one that offers a lunch room on-site, lunch options within a convenient walkable distance, and a 90-degree parking layout with 24'-0" wide aisles.

Parking spaces reserved for visitors will turn over more frequently than employee spaces and as such should remain 9'-0" wide in the plan, per the Burr Ridge Zoning Ordinance. Accessible parking stalls should continue to meet the Illinois Accessibility Code design requirements (8'-0" wide stall, 8'-0" wide accessible aisle), also per the Burr Ridge Zoning Ordinance. Both visitor and accessible spaces should be located as close to the front entrance of the building as possible.

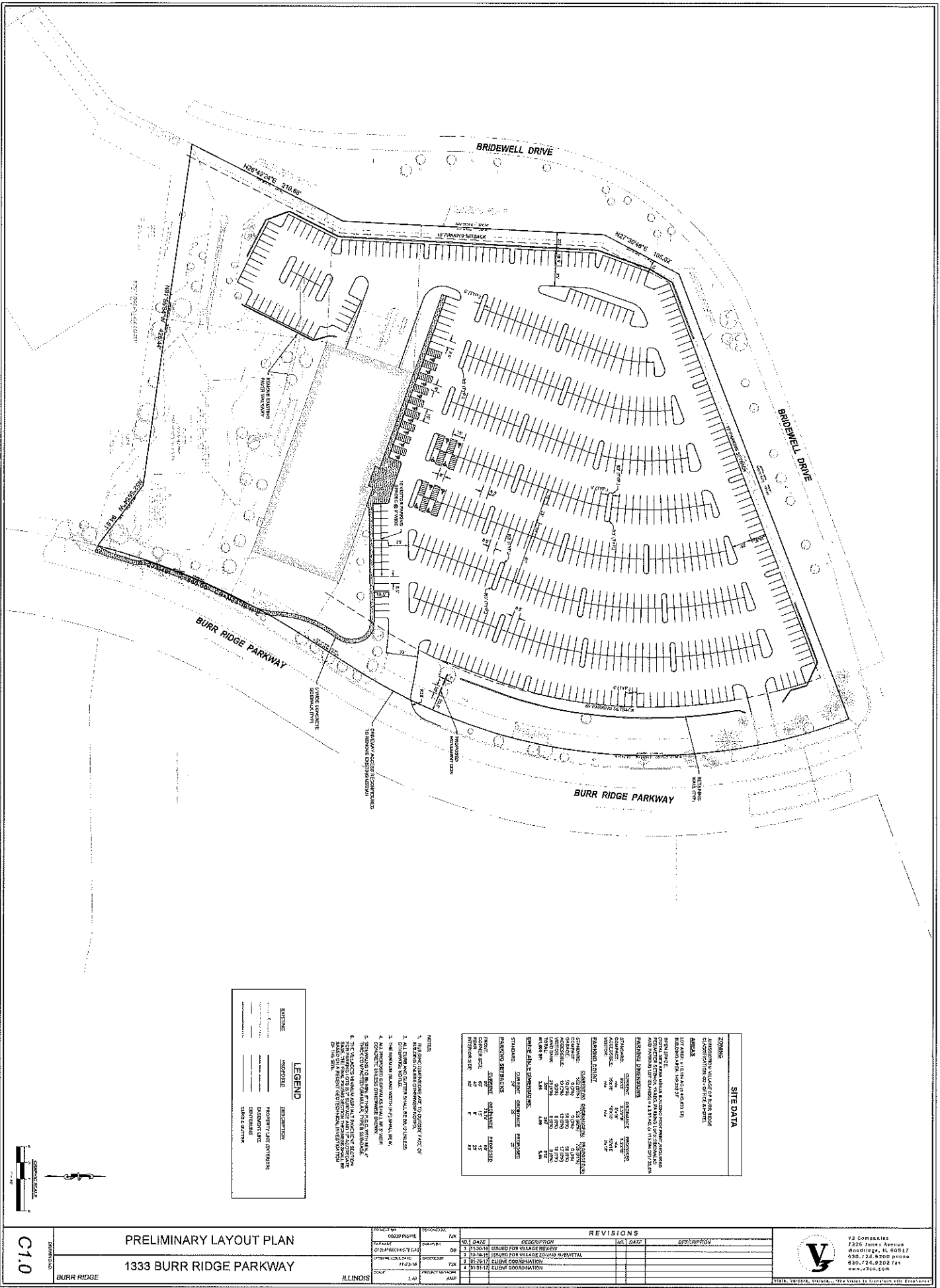
**TABLE 1  
MUNICIPAL PARKING STALL WIDTH REQUIREMENTS FOR LOW TURNOVER USES**

Municipality	Parking Stall Width (Standard)	Permitted Parking Stall Width (Low Turnover Uses <sup>1</sup> )
Village of Burr Ridge	9'-0"	*
Village of Oak Brook	9'-0"	8'-6"
Village of Schaumburg	9'-0"	8'-6"
Village of Downers Grove	9'-0"	8'-6"
Village of Hoffman Estates	9'-0"	8'-6"
Village of Northbrook	9'-0"	8'-6"
Village of Libertyville	9'-0"	8'-6"
Village of Hinsdale	9'-0"	8'-6"
Village of Arlington Heights	9'-0"	8'-6"
Village of Woodridge	9'-0"	8'-6"
Village of La Grange	8'-6"	8'-0"
Village of Lombard	8'-6"	8'-3"
City of Park Ridge	8'-6"	*
City of Elmhurst	8'-6"	*
Village of Warrenville	8'-6"	*
Village of Deerfield	8'-6"	*
Village of La Grange Park	8'-5"	*
City of Chicago	8'-0"	*

<sup>1</sup> The Institute of Transportation Engineers defines a Low Turnover Use as a use where parking spaces will typically be occupied by no more than two different vehicles during the course of the business day.

\* Ordinance does not contain a narrower parking stall standard for offices and other low turnover uses

# APPENDIX



BRIDWELL DRIVE

NET 564' ± 210.85'

NET 564' ± 180.67'

BRIDWELL DRIVE

BURR RIDGE PARKWAY

BURR RIDGE PARKWAY

NET 564' ± 180.67'

- NOTES:**
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**LEGEND**

<p>EXISTING</p> <p>PROPOSED</p> <p>PROPOSED WITH</p> <p>PROPOSED WITH</p> <p>PROPOSED WITH</p> <p>PROPOSED WITH</p>	<p>PROPOSED</p> <p>PROPOSED WITH</p> <p>PROPOSED WITH</p> <p>PROPOSED WITH</p> <p>PROPOSED WITH</p>
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**SITE DATA**

ZONING		2012 ILL. VEHICULAR TRAFFIC
OWNER		1333 BURR RIDGE PARKWAY
DESIGNER		V3 CORP.
DATE		09/18/12
PROJECT		1333 BURR RIDGE PARKWAY
SHEET NO.		01
TOTAL SHEETS		02
SCALE		AS SHOWN

**PRELIMINARY LAYOUT PLAN**

1333 BURR RIDGE PARKWAY

ILLINOIS

**REVISIONS**

NO.	DATE	REVISION	BY	CHKD
1	09/18/12	ISSUED FOR VILLAGE REVIEW		
2	09/18/12	ISSUED FOR VILLAGE SUBMITTAL		
3	09/18/12	CLEAR COORDINATION		
4	09/18/12	CLEAR COORDINATION		

V3 CORP.  
 7326 Felix Avenue  
 Westfield, IL 60591  
 630.724.9200 phone  
 630.724.9202 fax  
 www.v3co.com

**C1.0**

000313 SITE - PRELIMINARY LAYOUT PLAN

## Tends in Vehicle Dimensions Years (2006-2017)

Sedans													
Length (ft)	Year												
	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	Total
Average:	15.7	15.7	15.7	15.8	15.7	15.8	15.7	15.7	15.8	15.8	15.8	15.8	15.8
Shortest:	13.7	13.9	13.9	13.9	13.3	13.8	13.8	13.8	13.8	14.0	14.0	14.0	13.8
Longest:	18.0	18.0	18.0	18.0	18.0	18.0	17.2	17.3	17.3	17.3	17.3	17.3	17.6

Sedans													
Width (ft)	Year												
	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	Total
Average:	5.9	5.9	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0
Narrowist:	5.5	5.6	5.6	5.6	5.6	5.6	5.6	5.6	5.6	5.6	5.6	5.6	5.6
Widest:	6.5	6.5	6.5	6.5	6.5	6.5	6.4	6.4	6.4	6.4	6.4	6.5	6.5

SUVs													
Length (ft)	Year												
	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	Total
Average:	16.0	16.0	16.0	16.0	16.0	16.1	16.1	16.1	16.1	16.1	16.1	16.2	16.1
Shortest:	14.2	14.2	14.2	14.2	14.4	14.4	14.4	14.4	14.4	14.4	14.6	14.6	14.4
Longest:	18.5	18.6	18.6	18.6	18.6	18.6	18.6	18.6	18.6	18.7	18.7	18.7	18.6

SUVs													
Width (ft)	Year												
	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	Total
Average:	6.3	6.3	6.2	6.3	6.3	6.3	6.3	6.3	6.3	6.3	6.3	6.3	6.3
Narrowist:	6.3	6.3	6.3	6.3	6.6	6.3	6.3	6.3	6.3	6.3	6.3	6.3	6.3
Widest:	7.2	6.6	6.7	6.7	6.7	6.7	6.7	6.8	6.8	6.8	6.8	6.8	6.8

Data taken from Edmunds.com Inc.

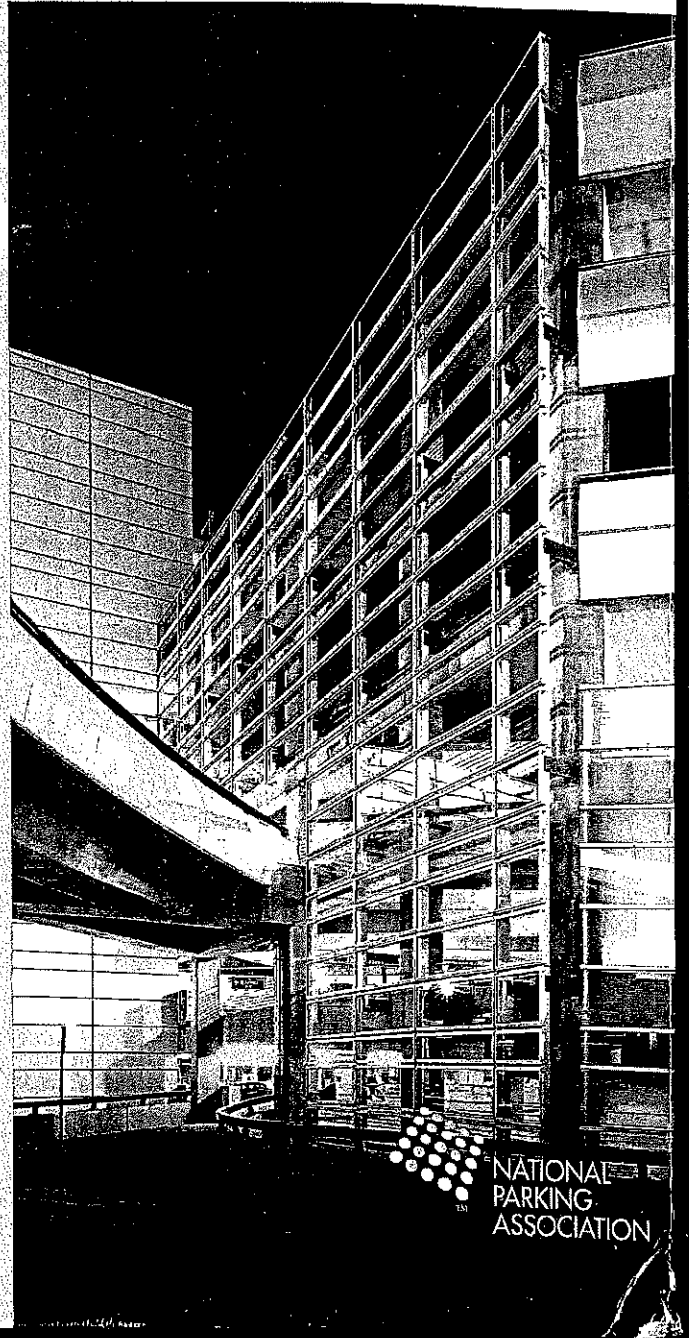
# THE DIMENSIONS OF PARKING

FIFTH EDITION

THE DIMENSIONS OF PARKING



NATIONAL  
PARKING  
ASSOCIATION



NATIONAL  
PARKING  
ASSOCIATION



## Why Small-Vehicle-Only Parking Spaces Do Not Work

When the small-vehicle-only parking space was introduced, the mix of automobiles consisted of very large and very small cars; therefore, the “small-car” or “compact-only” rule was largely self-enforcing. In one common layout, angled spaces for large vehicles were placed on one side of the aisle, and 90-degree spaces for small vehicles were placed on the other. The difficulty of making the turn into the 90-degree parking spaces and the restricted clearances for opening doors discouraged drivers of larger vehicles from using the small-vehicle-only spaces.

However, small-vehicle-only parking spaces did not remain practical for long. Following the oil crisis of the mid-1970s, manufacturers first downsized larger vehicles and introduced new, very small cars. However, since the mid-1980s, manufacturers have been able to improve the fuel efficiency of larger cars through aerodynamics, more efficient engines, and lighter construction. Therefore, they were able to increase the size of smaller vehicles and still meet federal fuel-efficiency standards. As a result, car sizes are concentrated in the middle of the size range. By the late 1980s, over two-thirds of the vehicles sold in the

typically built on a car platform instead of on a pickup truck platform. Examples of CUVs include the Toyota RAV4 and the Chrysler Pacifica.

To help determine the design vehicle, the Parking Consultants Council (PCC) uses data on annual sales of cars and light trucks that are collected by the weekly *Automotive News*, as well as the publication’s specification data for model sizes. Since 1999, the 85th percentile vehicle in the United States has varied slightly, but has remained within an inch or two (2.5 to 5 centimeters) of 6 feet, 7 inches (2 meters) by 17 feet, 3 inches (5.3 meters). Thus, the PCC has adopted these dimensions for its design vehicle.

In addition, to better understand trends in vehicle sizes, the PCC monitors changes in seven classes of vehicles size. Three of the classes comprise what are traditionally considered small cars or trucks, while the remaining classes are reserved for large cars and trucks. Because the size of an

United States were within 1 foot (0.3 meters) in length and a few inches in width of the traditional boundary between small and large cars. Therefore, many large cars are able to park in small-car-only stalls, albeit with some difficulty.

If small-vehicle spaces are in a convenient location, drivers of intermediate or even larger vehicles may park in the small-vehicle spaces, thus impeding traffic flow and compromising both the safety and comfort of turning for other users. Moreover, when large vehicles are parked in small-vehicle parking spaces, they often encroach into the adjacent parking spaces, creating a ripple effect along the row that eventually renders a parking space unusable—and negates the improved efficiency offered by small-vehicle parking spaces. On the other hand, if small-vehicle spaces are placed at inconvenient locations, small-vehicle drivers may park their vehicles in standard-sized spaces, forcing later-arriving large vehicles into small-vehicle parking spaces. In sum, specially located small-vehicle spaces are not effective unless a facility is policed to prevent the drivers of large vehicles from using small-vehicle spaces, and vice versa.

intermediate vehicle changes over time, the classifications used by manufacturers and other sources, such as *Automotive News*, are not reliable means of evaluating vehicle sizes. Instead, the PCC compares footprints, or vehicle length multiplied by width, to examine changes in size.

### GUIDELINES FOR PARKING GEOMETRICS

First and foremost, the dimensions of parking facilities should be geared to the needs of projected users. For example, facilities that are expected to have high turnover rates, such as those that support convenience stores, should have greater clearances than those that support uses with low turnover rates. Similarly, where a significant portion of users may be elderly people and/or under stress, such as at hospitals, more generous dimensions may be appropriate. It is also important

**FIGURE 7-2: Recommended Minimum Widths for Parking Stalls**

	Feet	Meters
Low turnover (employees, students, etc.)	8' 3"-8' 6"	2.51-2.59
Low to moderate turnover (offices, regional retail centers, long-term airport parking, etc.)	8' 6"-8' 9"	2.59-2.66
Moderate to high turnover (community retail, medical facilities, etc.)	8' 9"-9' 0"	2.66-2.74

Source: Parking Consultants Council, *Guidelines for Parking Geometrics* (Washington, D.C.: National Parking Association, 2002).

to take account of what kind of parking facilities users are likely to be accustomed to: for example, a self-park facility in a downtown location in a large city can be designed with less generous dimensions than a self-park structure in an upscale suburban mall or in a smaller, rural community.

Finally, designers must be aware that vehicle sizes no longer vary significantly by region and locality. SUVs are just as popular in California and Hawaii as in rural areas and the Snowbelt. The sole exception is in the Southwest, where pickups are more likely to be used for everyday transportation than elsewhere in the country.

Other critical elements determining the dimensions of parking facilities are the width of the vehicles and the ease of maneuvering the vehicles into and out of the parking space. The ease of maneuvering, in turn, depends on three related factors: the width of the space itself, the angle of parking, and the width of the aisle. Within reasonable limits, the same degree of turning comfort can be achieved with a wider aisle and a narrower parking space, or with a wider parking space and a narrower aisle.

### DETERMINING THE DIMENSIONS OF PARKING SPACES

Because a parking space that has sufficient clearance for doors to be opened comfortably will be wide enough for vehicle maneuvering if the adjacent aisle is properly sized, the widths of parking spaces have generally been based on required clearances for opening doors (that is, on the necessary distance between vehicles). Door opening clearances should range from 20 inches (51 centimeters) for vehicles in low-turnover facilities to 24 to 27 inches (61 to 69 centimeters) for vehicles in

high-turnover facilities.<sup>3</sup> Combining these dimensions with the width of the current design vehicle results in parking-space widths that range from 8 feet, 3 inches (2.5 meters) to 9 feet, 0 inches (2.7 meters).

As noted earlier, turnover plays a strong role in determining parking geometrics; parking spaces are no exception. Figure 7-2 lists recommendations for adjusting stall widths on the basis of turnover.

Unlike width, the length of a parking space is not affected by turnover rate or user type. Currently, the recommended length of a parking space is 18 feet (5.5 meters). This recommendation is based on the length of the design vehicle—17 feet, 3 inches (5.25 meters)—plus nine inches (23 centimeters) to account for the typical distance from the bumper of a parked vehicle to the end of the stall (i.e., the edge of the stall farthest from the aisle).<sup>4</sup>

### DETERMINING THE DIMENSIONS OF DRIVE AISLES AND MODULES

The drive aisle is the space between two vehicles that are parked directly opposite each other. The parking design term *module* refers to the distance created by the width of the drive aisle, combined with the length of the vehicle (or vehicles) parked on one (or both sides) of the drive aisle. When a vehicle is located on only one side of the drive aisle, this is referred to as a single-loaded module. When vehicles are located on both sides of the drive aisle, it is referred to as a double-loaded module.

In the early days of the parking garage, the size of parking modules was determined by trial and error. But in the 1950s, Edmund Ricker, an early pioneer in the field of parking geometrics,

Abby O'Connor  
1000 Village Center Dr.  
Unit 211  
Burr Ridge, IL.

Feb.10, 2017

Mr. Doug Pollock  
Burr Ridge Village Hall  
7660 County Line Rd.  
Burr Ridge, Il.

Dear Mr. Pollock,

As a resident of the 1000 Village Center building, I have many objections to the petition by InSite Realty to greatly enlarge the parking facilities at the 1333 Burr Ridge Parkway location.

Since I am in a corner unit, I see the parking lot on a daily basis. There are vast open areas of empty spaces at all times of the year.

Adding additional parking along the Burr Ridge Parkway, and reducing the width of the spaces to 8 1/2 ft. seems reasonable.

Adding parking spaces along the Frontage Rd., and in particular, the "corner lot" expansion, presents many problems:

1. extra water run-off draining into the pond
2. lighting that would impact the well-being of our residents
3. snow removal becomes noisier and closer to our building
4. loss of large evergreens/landscaping
5. quality of life for residents diminished as a result of loss of green space/addition of concrete so close to our building
6. very probable that our home values will deteriorate

The Village insists on ordinances that add to the ambiance of our village, such as planting trees along Burr Ridge Parkway by businesses.

I ask that the 59 taxpayers of this building are granted equal consideration by the Village. Our wish is that you do not give permission for InSite to expand parking in their corner lot and along the frontage road (Bridewell). I think that we are entitled to some ambiance as well.

Sincerely,  
Abby O'Connor

January 9, 2017

Village of Burr Ridge Plan Commission  
7660 County Line Road  
Burr Ridge, IL 60527

**RE: V-01-2017: 1333 Burr Ridge Parkway**

Dear Commissioners:

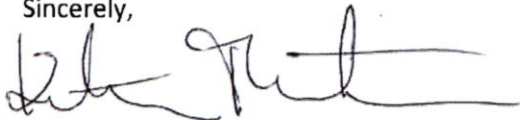
Trademark Property Company is writing to you on behalf of the Burr Ridge Park Owners Association in regards to the public hearing scheduled January 16, 2017 at 7:30 p.m. for 1333 Burr Ridge Parkway's request for several variances of the Burr Ridge Zoning Ordinance to accommodate the expansion of the building's parking lot.

The Burr Ridge Park Owners Association cannot comment or approve the request until more information is provided about what is prompting the need to expand the parking lot. It is apparent that something significant is happening to the building occupancy that will have an impact on the building's parking, as well as the concern for establishing a significant precedent for other projects in the office park. To date, we have not been provided any such information.

We hope that the Plan Commission hearing on January 16, 2017 will provide the Association with sufficient information about the proposed request for variance. The information gathered at the hearing will be immediately reviewed and discussed by the Association and the Association will then provide its response.

If you have any questions, please feel free to contact my office at (630) 654-2782.

Sincerely,



Kristy Tramontana, CCIM, RPA  
General Manager  
Burr Ridge Park Owners Association  
Managed by Trademark Property Company

cc: Doug Pollack, Community Development Director via e-mail [dpollack@burr-ridge.gov](mailto:dpollack@burr-ridge.gov)  
Robert Goldstine, Burr Ridge Park Office Association Architectural Review Committee, via e-mail  
Patricia Halikias, Burr Ridge Park Office Association Architectural Review Committee, via e-mail  
Dr. Andrew Moormann, Burr Ridge Park Office Association Architectural Review Committee, via e-mail  
Charles Marlas, Burr Ridge Park Office Association Architectural Review Committee, via e-mail

KRO:ms  
07/19/90

ORDINANCE NO. A-454-25-90

**AN ORDINANCE GRANTING VARIATIONS  
(LINCOLN PROPERTY COMPANY VARIATIONS)**

WHEREAS, an application has been filed with the Zoning Board of Appeals of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, seeking certain variations for certain real estate, all as more fully described below; and

WHEREAS, the Zoning Board of Appeals of this Village held a public hearing on the question of granting said variation on July 2, 1990, at the Village Hall of this Village, at which time all persons desiring to be heard were given the opportunity to be heard; and

WHEREAS, legal notice of said public hearing was published in the manner and form required by law not more than 30 nor less than 15 days before said hearing in the Burr Ridge Doings, a newspaper of general circulation in this Village, no newspaper being published in said Village, all as required by law;

NOW, THEREFORE, Be It Ordained by the President and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

Section 1: That the Zoning Board of Appeals has made its report, including its findings and recommendations to this President and Board of Trustees, which report and findings are herein incorporated by reference as findings of this Board of Trustees. All exhibits submitted at the public hearing of the

Zoning Board of Appeals are also incorporated by reference and adopted by this Board of Trustees.

Section 2: That this Board of Trustees, after considering the report and recommendations of the Zoning Board of Appeals and other matters properly before it, in addition to the findings set forth above in Section 1 finds as follows:

a. The Subject Property is located at the southwest corner of Burr Ridge Parkway and Frontage Road in the Village of Burr Ridge. The owner, Lincoln Property Company, proposes to develop the property by construction of a five story office building for the Richard D. Irwin Company, and seeks the following variations:

1. To permit the frontage on Burr Ridge Parkway, having the longest length abutting a street to be considered the front yard in lieu of the west lot line, which has the shortest, rather than requiring the lot line having the shortest length abutting a street being the front lot line as provided for in Section XII,B,9 of the Burr Ridge Zoning Ordinance.

2. To permit parking in a corner side area between the building and the north lot line, in variance from Section IX,D,8, of the Burr Ridge Zoning Ordinance.

3. To permit uncovered off-street loading and unloading activities in a rear yard, in variance from the provisions of Section IX,E,1 of the Burr Ridge Zoning Ordinance.

4. To permit three loading berths in lieu of the four required by Section IX,E,7 of the Burr Ridge Zoning Ordinance.

b. That the plight of the owner is due to unique circumstances. The Subject Property has a unique configuration in that it is classified as a triple frontage lot which restricts development unless the front yard is interpreted as fronting on Burr Ridge Parkway. The triple frontage necessitates corner side yard parking in order to build on the property. In addition, the proposed use of the building does not require substantial deliveries of a type that would require four loading berths.

c. That the granting of the variations in combination with the proposed improvement to the property constitutes an improvement to the area and will not alter the essential character of the locality in that it will remain an office park. The types of tenants and uses proposed are such that three loading berths will adequately service the building without adverse traffic congestion. The open off street parking in the rear yard is to be screened on both sides with the loading berths located below grade.

d. That denial of the requested variations would be a hardship to the owners in that such denial would unduly and detrimentally affect the ability of the petitioner to develop the triple frontage lot with an office building.

e. That the conditions upon which the application for variations are based would not be applicable generally to other properties within the same zoning classification. Therefore the granting of the variations will not be precedent-setting.

f. That the granting of the variations will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood where the Subject Property is located, instead, it will positively impact the neighborhood and is consistent with the adjoining properties, all of which are proposed for office uses.

Section 3: That the following variations be and are hereby granted:

1. To permit the frontage on Burr Ridge Parkway, having the longest length abutting a street to be considered the front yard in lieu of the west lot line, which has the shortest, rather than requiring the lot line having the shortest length abutting a street being the front lot line as provided for in Section XII,B,9 of the Burr Ridge Zoning Ordinance.

2. To permit parking in a corner side area between the building and the north lot line, in variance from Section IX,D,8, of the Burr Ridge Zoning Ordinance.

3. To permit uncovered off-street loading and unloading activities in a rear yard, in variance from the provisions of Section IX,E,1 of the Burr Ridge Zoning Ordinance.

4. To permit three loading berths in lieu of the four



required by Section IX,E,7 of the Burr Ridge Zoning Ordinance.

said Subject Property being legally described as follows:

THAT PART OF THE WEST 1/2 OF SECTION 30, TOWNSHIP 38 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS; BEGINNING AT THE INTERSECTION OF THE SOUTHERLY LINE OF THE PERMANENT EASEMENT FOR HIGHWAY PURPOSES (INTERSTATE ROUTE 55) AS PER INSTRUMENT RECORDED AUGUST 12, 1959 AS DOCUMENT NO. 17627674 WITH THE WESTERLY LINE OF BURR RIDGE PARKWAY IN BURR RIDGE PARK UNIT 1, BEING A SUBDIVISION IN THE WEST 1/2 OF SECTION 30, AFORESAID, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 3, 1984 AS DOCUMENT NO. 26915064; THE FOLLOWING THREE COURSES ARE ALONG THE WESTERLY LINE OF SAID BURR RIDGE PARKWAY; THENCE SOUTHERLY ALONG A CURVED LINE CONVEX EASTERLY AND HAVING A RADIUS OF 690.0 FEET, AN ARC DISTANCE OF 642.83 FEET TO A POINT OF TANGENCY IN SAID LINE; THENCE SOUTH 34 DEGREES 14 MINUTES 40 SECONDS WEST ALONG A LINE TANGENT TO SAID LAST DESCRIBED CURVED LINE AT SAID LAST DESCRIBED POINT, 81.30 FEET TO A POINT OF CURVATURE IN SAID LINE; THENCE SOUTHWESTERLY ALONG A CURVED LINE CONVEX NORTHWESTERLY, HAVING A RADIUS OF 865.0 FEET AND BEING TANGENT TO SAID LAST DESCRIBED LINE AT SAID LAST DESCRIBED POINT, AN ARC DISTANCE OF 274.49 FEET;

THENCE NORTH 51 DEGREES 06 MINUTES 52 SECONDS WEST, 94.61 FEET; THENCE NORTH 80 DEGREES 06 MINUTES 52 SECONDS WEST, 426.44 FEET TO AN INTERSECTION WITH THE SOUTHEASTERLY LINE OF THE PERMANENT EASEMENT FOR HIGHWAY PURPOSES (INTERSTATE ROUTE 55) AS PER INSTRUMENT RECORDED AUGUST 12, 1959 AS DOCUMENT NO. 17627674, SAID POINT BEING 3644.26 FEET NORTH AND 1888.33 FEET WEST OF THE SOUTHEAST CORNER OF THE WEST 1/2 OF SAID SECTION 30, AS MEASURED ALONG THE EAST LINE THEREOF AND ALONG A LINE AT RIGHT ANGLES THERETO; THENCE NORTH 28 DEGREES 39 MINUTES 26 SECONDS EAST ALONG SAID LAST DESCRIBED SOUTHEASTERLY LINE AND SAID LINE EXTENDED, BEING ALSO THE SOUTHEASTERLY LINE OF PERMANENT EASEMENT FOR HIGHWAY PURPOSES AS PER INSTRUMENT RECORDED JULY 6, 1962 AS DOCUMENT NO. 18525860, 210.86 FEET TO AN INTERSECTION WITH THE EASTERLY LINE OF SAID LAST DESCRIBED PERMANENT EASEMENT FOR HIGHWAY PURPOSES; THENCE NORTH 04 DEGREES 45 MINUTES 36 SECONDS EAST ALONG SAID LAST DESCRIBED EASTERLY LINE, 327.64 FEET TO AN

INTERSECTION WITH THE SOUTHERLY LINE OF PERMANENT EASEMENT FOR HIGHWAY PURPOSES AS PER INSTRUMENT RECORDED AUGUST 12, 1959 AS DOCUMENT NO. 17627674; THENCE NORTH 29 DEGREES 20 MINUTES 48 SECONDS EAST ALONG SAID LAST DESCRIBED SOUTHERLY LINE, 105.02 FEET TO AN ANGLE POINT IN SAID SOUTHERLY LINE; THENCE NORTH 70 DEGREES 51 MINUTES 56 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID LAST DESCRIBED PERMANENT EASEMENT FOR HIGHWAY PURPOSES, 590.0 FEET TO THE PLACE OF BEGINNING, IN COOK COUNTY, ILLINOIS.

The above variations are expressly conditioned upon Petitioner's compliance with site and engineering plans as approved by the Village and the submission of berming and landscaping plans for the subject property for Village approval and upon compliance with said plans, as approved.

Section 4: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

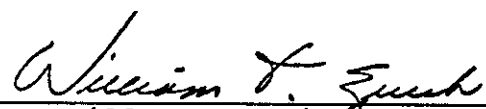
PASSED this 23rd day of July, 1990, by the following roll call vote:

AYES: 6 - Trustee Irmen, St. Clair, Sessions, McGirr, Marshall & Davis

NAYS: 0 - None

ABSENT: 0 - None

APPROVED this 23rd day of July, 1990, by the President of the Village of Burr Ridge.

  
\_\_\_\_\_  
Village President

FAS  
10/19/92

ORDINANCE NO. A-454-24-92

**AN ORDINANCE GRANTING A VARIATION  
(1333 Burr Ridge Parkway - Irwin Building)**

**WHEREAS**, an application has been filed with the Zoning Board of Appeals of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, seeking a variation for certain real estate, all as more fully described below; and

**WHEREAS**, the Zoning Board of Appeals of this Village held a public hearing on the question of granting said variations on October 15, 1992, at the Village Hall of this Village, at which time all persons desiring to be heard were given the opportunity to be heard; and

**WHEREAS**, legal notice of said public hearing was published in the manner and form required by law not more than 30 days nor less than 15 days prior to said meeting in the Burr Ridge Doings, a newspaper of general circulation in this Village, there being no newspaper published in this Village, all as required by law;

**NOW, THEREFORE, Be It Ordained** by the President and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

**Section 1:** That the Zoning Board of Appeals has made its report, including its findings and recommendations to this President and Board of Trustees, which report and findings are herein incorporated by reference as findings of this Board of Trustees.

Section 2: That this Board of Trustees, after considering the report and recommendations of the Zoning Board of Appeals and other matters properly before it, finds as follows:

- a. That the Petitioner for the variation is Lincoln Property Company and the Owner of the Subject Property located at 1333 Burr Ridge Parkway is Burr Ridge Parkway Limited Partnership, (hereinafter "Petitioner"). The Petitioner is requesting a variation for the Subject Property, subject to amendment of the Annexation and Development Agreement (Bridewell) to permit one parking space for each 261 square feet of floor area, rather than one parking space for each 250 square feet of floor area (a total of 596 parking spaces, rather than the required 622), with the understanding that sufficient land shall be set aside for future parking space to accommodate the parking requirements of the Village as though no variation was granted should parking at a future date, in the judgment of the Village, be deemed inadequate. Petitioner shall record covenants running with the land, to be approved by the Village, which address the obligation to construct additional parking as required by the Village. The covenants shall also include enforcement rights by the Village. The Petitioner is seeking to construct a parking lot with land-banking on the Subject Property.
- b. That the plight of the Petitioner is due to unique circumstances. The existing characteristics and unique configuration of the site, in order to achieve sufficient parking, it necessitated providing parking behind the building adjacent to the existing pond. This parking is not convenient to the building's main entry and based upon current car count estimates with the major tenant, this parking will not be used.
- c. That denial of these variations would be a hardship for the Petitioner as the characteristics of the site and parking requirements created the need to place parking beyond the loading dock area adjacent to the existing pond. This parking, due to it's location and distance from the entrance to the building, will not be used and further reduces the esthetics of the site and office park by eliminating potential green areas.
- d. That the granting of these variations will not alter the essential character of the locality since the variation will provide for a more pleasant office parking environment by increasing green areas and reducing the number of parking spaces.

- e. That the condition upon which this petition for variations is based would not be applicable generally to the other properties within the same zoning district primarily because the variation will be subject to the condition that the parking spaces may be constructed by the Petitioner or required to be constructed by the Village should it be deemed necessary. Therefore, these parking spaces are designated as being "land-banked" on the approved site plan.
- f. That the granting of these variations will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood where the property is located as the variation will only enhance the value of the surrounding property by eliminating parking spaces and providing additional green areas.

Section 3: That a variation be and is hereby granted for the Subject Property to permit, subject to amendment of the Annexation and Development Agreement (Bridewell), one parking space for each 261 square feet of floor area, rather than one parking space for each 250 square feet of floor area (a total of 596 parking spaces, rather than the required 622), with the understanding that sufficient land shall be set aside for future parking space to accommodate the parking requirements of the Village as though no variation was granted should parking at a future date, in the judgment of the Village, be deemed inadequate. That Petitioner shall record covenants running with the land, to be approved by the Village, which address the obligation to construct additional parking as required by the Village and that the covenants shall also include enforcement rights by the Village, said Subject Property being legally described in Exhibit A, attached hereto and made a part hereof.

Said property is commonly known as 1333 Burr Ridge Parkway, Burr Ridge, Illinois (Irwin Building property).

FAS  
10/19/92

The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.

**PASSED** this 9th day of November, 1992 by the Corporate Authorities of the Village of Burr Ridge on a roll call vote as follows:

**AYES:** 5 - Trustees Santacaterina, Jacobs, McGirr, Cizek &  
Acting President Irmen

**NAYS:** 0 - None

**ABSENT:** 1 - Trustee Marshall

**APPROVED** by the Acting President of the Village of Burr Ridge on the 9th day of November, 1992.

  
\_\_\_\_\_  
Acting Village President

ATTEST:

  
\_\_\_\_\_  
Village Clerk

EXHIBIT A

That part of the West 1/2 of Section 30, Township 38 North, Range 12, East of the Third Principal Meridian, described as follows: beginning at the intersection of the southerly line of the permanent easement for highway purposes (Interstate Route 55) as per instrument recorded August 12, 1959 as Document No. 17627674 with the westerly line of Burr Ridge Parkway in Burr Ridge Park Unit 1, being a Subdivision in the West 1/2 of Section 30, aforesaid, according to the plat thereof recorded January 3, 1984 as Document No. 26915064; the following three courses are along the westerly line of said Burr Ridge Parkway; thence southerly along a curved line convex easterly and having a radius of 690.0 feet, an arc distance of 642.83 feet to a point of tangency in said line; thence south 34 degrees 14 minutes 40 seconds west along a line tangent to said last described curved line at said last described point, 81.30 feet to a point of curvature in said line; thence southwesterly along a curved line convex northwesterly, having a radius of 865.0 feet and being tangent to said last described line at said last described point, an arc distance of 274.49 feet; thence north 51 degrees 06 minutes 52 seconds west 94.61 feet; thence north 80 degrees 06 minutes 52 seconds west 426.44 feet to an intersection with the

southeasterly line of the permanent easement for highway purposes (Interstate Route 55) as per instrument recorded August 12, 1959 as Document No. 17627674, said point being 3644.26 feet north and 1888.33 feet west of the southeast corner of the West 1/2 of said Section 30, as measured along the east line thereof and along a line at right angles thereto; thence North 28 degrees 39 minutes 26 seconds East along said last described southeasterly line and said line extended, being also the southeasterly line of permanent easement for highway purposes as per instrument recorded July 6, 1962 as Document No. 18525860, 210.86 feet to an intersection with the easterly line of said last described permanent easement for highway purposes; thence North 04 degrees 45 minutes 36 seconds East along said last described easterly line, 327.64 feet to an intersection with the southerly line of permanent easement for highway purposes as per instrument recorded August 12, 1959 as Document No. 17627674; thence North 29 degrees 20 minutes 48 seconds East along said last described southerly line, 105.02 feet to an angle point in said southerly line; thence North 70 degrees 51 minutes 56 seconds East along the southerly line of said last described permanent easement for highway purposes, 590.0 feet to the place of beginning, in Cook County, Illinois.



VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

7660 County Line Rd. • Burr Ridge, IL 60527  
(630) 654-8181 • Fax (630) 654-8269 • [www.burr-ridge.gov](http://www.burr-ridge.gov)

Mickey Straub  
Mayor

Karen J. Thomas  
Village Clerk

Steven S. Stricker  
Village Administrator

December 23, 2016

## NOTICE OF PUBLIC HEARING

Dear Property Owner:

The Plan Commission/Zoning Board of Appeals hereby provides notice that a public hearing will be conducted to consider the following petition:

**V-01-2017: 1333 Burr Ridge Parkway;** The Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by Burr Ridge Parkway Limited Partnership, a California Limited Partnership for variations from the Burr Ridge Zoning Ordinance to accommodate the expansion of an office building parking lot. Variations are requested from: Section XI.C.8 to permit parking to be located 60 feet from the front lot line (Burr Ridge Parkway) rather than 79.76 feet (i.e. the established front building setback line); Section XI.C.8 to permit additional parking between the building and the corner side lot line (north line along North Frontage Road) rather than the requirement prohibiting parking between the building and the corner side lot line; Section XI.C.6 to permit parking spaces that are 8.25 x 18 feet rather than 9 x 18 feet; Section XI.C.11.b(2) to permit parking lot landscape islands to be less than the required 9 x 18 feet; Section XI.C.11.a(3)b to reduce the required landscaping along the north perimeter of the parking lot; and Section XI.C.9c(2) to permit parking lot light poles in excess of the maximum permitted height of 20 feet. The petition number and property address is **V-01-2017: 1333 Burr Ridge Parkway** and the Permanent Real Estate Index Number is: **18-30-300-024.**

A public hearing to consider this petition is scheduled for:

**Date:** Monday, January 16, 2017  
**Time:** 7:30 P.M. or as soon thereafter as the matter may be heard.  
**Location:** Village of Burr Ridge  
Board Room  
7660 County Line Road  
Burr Ridge, IL 60527

Additional information is on file and available for public review at the Burr Ridge Village Hall or contact:

Doug Pollock, Community Development Director  
(630) 654-8181 ext. 3000  
[dpollock@burr-ridge.gov](mailto:dpollock@burr-ridge.gov)

All persons interested in commenting on the proposed request will be given an opportunity to do so at the public hearing. Written statements are encouraged and will be reviewed by the Plan Commission/Zoning Board of Appeals if received at the Village Hall on or before the Wednesday preceding the public hearing.



Order ID: 4672063

GROSS PRICE \* :

\$63.49

PACKAGE NAME: IL Govt Legal Pioneer Doings

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Product(s): SubTrib\_Pioneer Doings, Publicnotices.com, classified.chicagotribune.com

AdSize(s): 1 Column,

Run Date(s): Thursday, December 29, 2016

Color Spec. B/W

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## Preview

### LEGAL NOTICE

#### NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Plan Commission and Zoning Board of Appeals of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, will conduct the following Public Hearing beginning at 7:30 p.m. on Monday, January 16, 2017, at the Burr Ridge Village Hall, 7660 County Line Road, Burr Ridge, Illinois 60527.

1. The Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by Burr Ridge Parkway Limited Partnership, a California Limited Partnership for variations from the Burr Ridge Zoning Ordinance to accommodate the expansion of an office building parking lot. Variations are requested from: Section XI.C.8 to permit parking to be located 60 feet from the front lot line (Burr Ridge Parkway) rather than 79.76 feet (i.e. the established front building setback line); Section XI.C.8 to permit additional parking between the building and the corner side lot line (north line along North Frontage Road) rather than the requirement prohibiting parking between the building and the corner side lot line; Section XI.C.6 to permit parking spaces that are 8.25 x 18 feet rather than 9 x 18 feet; Section XI.C. 11 .b(2) to permit parking lot landscape islands to be less than the required 9 x 18 feet; Section XI.C. 11 .a(3)b to reduce the required landscaping along the north perimeter of the parking lot; and Section XI.C.9c(2) to permit parking lot light poles in excess of the maximum permitted height of 20 feet. The petition number and property address is V-01-2017; 1333 Burr Ridge Parkway and the Permanent Real Estate Index Number is: 18-30-300-024.

The Plan Commission/Zoning Board of Appeals reserves the right to continue said hearings from time to time as may be required without further notice, except as may be required by the Illinois Open Meetings Act.

# Chicago Tribune

Printed: 12/22/2016 8:35:19 AM

Page 2 of 2

Order ID: 4672063

\* Agency Commission not included

**GROSS PRICE \* :** \$63.49

**PACKAGE NAME: IL Govt Legal Pioneer Doings**

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BY ORDER OF THE PLAN COM-  
MISSION/ZONING BOARD OF AP-  
PEALS OF THE VILLAGE OF BURR  
RIDGE, COOK AND DUPAGE  
COUNTIES, ILLINOIS.

GREG TRZUPEK  
CHAIRMAN

MEMBERS: MIKE STRATIS, DEHN  
GRUNSTEN, LUISA HOCH, ROB-  
ERT GRELA, GREGORY SCOTT,  
MARY PRAXMARER, AND JIM  
BROLINE.  
12/29/2016 4672063

**V-01-2017: 1333 Burr Ridge Parkway**  
**HOMEOWNERS' ASSOCIATIONS**

**Ambriance! HOA (2016)**

Contact: Suzette Sims, Office Mgr.  
Ambriance! Office  
(630) 325-6631 Gate House

2<sup>nd</sup> Contact: Paul Chronis, Board Member  
404 Ambriance!  
(773) 294-1559 CELL

**Chasemoor of Burr Ridge Condo Assn. (2016)**

Contact: Paul Schneider, President  
136 Northgate Place  
(630) 789-9157  
[1stbase136@comcast.net](mailto:1stbase136@comcast.net)

2<sup>nd</sup> Contact: Mary Lou Lowrey, Vice President  
14 Southgate Court  
(630) 321-9224

Emergency: Richard Alward  
(630) 788-8230

Mgmt Co.: Groebe Management Co.  
Jim Carey, Property Manager  
7250 W. College Drive  
Palos Heights, IL 60463  
(708) 346-8841 OFFICE  
(773) 677-3964 CELL  
[jcarey@groebeaction.com](mailto:jcarey@groebeaction.com)  
(847) 490-3833  
(847) 882-1301 DIRECT  
[JIW@walden.marling.com](mailto:JIW@walden.marling.com)

**VILLAGE CENTER CONDOS**

**450 Village Center Drive Condo Assn. (2016)**

Contact: Jennifer Fox, President  
450 Village Center Drive, Unit 217  
(708) 705-3151 CELL  
(630) 568-5656  
[jlfox@foxvending.com](mailto:jlfox@foxvending.com)

2<sup>nd</sup> Contact: David Jelinek  
450 Village Center Drive, Unit  
(630) 404-9413  
[davidjelinek@mac.com](mailto:davidjelinek@mac.com)

Mgmt Co.,: Janet Monahan, CMCA, ARM  
Chicagoland Management & Realty  
111 E. Wacker Drive, Suite 1412  
Chicago, IL 60601-4501  
(312) 729-1300 ext. 125 OFFICE  
[jmonahan@chicagoland-inc.com](mailto:jmonahan@chicagoland-inc.com)

**801 Village Center Drive Condo Assn. (2016)**  
**1000 Village Center Drive Condo Assn. (2016)**

Contact: Cardinal Property Management, Inc.  
Richard Jasek  
Property Manager  
17730 Oak Park Avenue, #A  
Tinley Park, IL 60477  
(708) 532-4444 OFFICE  
(708) 476-9100 CELL  
[rjasek@cardinalpmi.net](mailto:rjasek@cardinalpmi.net)  
[customerservice@cardinalpmi.net](mailto:customerservice@cardinalpmi.net)

**850 Village Center Drive Condo Assn. (2015)**

Contact: Rick Michalak, President  
850 Village Center Drive, #414  
(708) 997-8779  
[rmichalak76@gmail.com](mailto:rmichalak76@gmail.com)

2<sup>nd</sup> Contact: Cardinal Property Management, Inc.  
Richard Jasek  
Property Manager  
17730 Oak Park Avenue, #A  
Tinley Park, IL 60477  
(708) 532-4444 OFFICE  
(708) 614-0270 CELL  
[rjasek@cardinalpmi.net](mailto:rjasek@cardinalpmi.net)

3<sup>rd</sup> Contact: Ken Kozlowski  
850 Village Center Drive #402  
(708) 334-4711

**Burr Ridge Corporate Park Property Owners Association**

1<sup>st</sup> Contact: Robert D. Goldstine  
835 McClintock Drive  
Burr Ridge, IL 60527

2<sup>nd</sup> Contact: Kristy Tramontana  
701 Village Center Dr.  
Burr Ridge, IL 60527

**Ambriance! HOA**  
Paul Chronis, Board Member  
404 Ambriance  
Burr Ridge, IL 60527

**Chasemoor of Burr Ridge Condo Assn.**  
Paul Schneider, President  
136 Northgate Place  
Burr Ridge, IL 60527

**Chasemoor of Burr Ridge Condo Assn.**  
Mary Lou Lowrey, Vice President  
14 Southgate Court  
Burr Ridge, IL 60527

**Groebe Management Co.**  
Jim Carey, Property Manager  
7250 W. College Drive  
Palos Heights, IL 60463

**450 Village Center Drive Condo Assn.**  
Jennifer Fox, President  
450 Village Center Drive, Unit 217  
Burr Ridge, IL 60527

**450 Village Center Drive Condo Assn.**  
David Jelinek  
450 Village Center Drive  
Burr Ridge, IL 60527

Janet Monahan, CMCA, ARM  
Chicagoland Management & Realty  
111 E. Wacker Drive, Suite 1412  
Chicago, IL 60601-4501

**801/1000 Village Center Drive Condo Assn.**  
Cardinal Property Management, Inc.  
Richard Jasek, Property Manager  
17730 Oak Park Avenue, #A  
Tinley Park, IL 60477

**850 Village Center Drive Condo Assn.**  
Rick Michalak, President  
850 Village Center Drive, #414  
Burr Ridge, IL 60527

**850 Village Center Drive Condo Assn.**  
Cardinal Property Management, Inc.  
Richard Jasek, Property Manager  
17730 Oak Park Avenue, #A  
Tinley Park, IL 60477

**850 Village Center Drive Condo Assn.**  
Ken Kozlowski  
850 Village Center Drive #402  
Burr Ridge, IL 60527

**Burr Ridge Corporate Park Property  
Owners Association**  
Robert D. Goldstine  
835 McClintock Drive  
Burr Ridge, IL 60527

**Burr Ridge Corporate Park Property  
Owners Association**  
Kristy Tramontana  
701 Village Center Dr.  
Burr Ridge, IL 60527

Burr Deed LLC  
10350 Bren Road West  
Minnetonka, MN 55343  
(18-30-300-048-0000)

Local 731 PS & GP  
1000 Burr Ridge Pkwy  
Burr Ridge, IL 60527  
(18-30-303-011-0000)

Burr Deed LLC  
10350 Bren Road West  
Minnetonka, MN 55343  
(18-30-300-038-0000)

Life Time Fitness 130  
2902 Corporate Place  
Chanhassen, MN 55317  
(18-30-300-041-0000)

PB&J XXXIX LLC  
4800 N. Harlem Ave  
Harwood Heights, IL 60706  
(18-30-300-025-0000)

Duke Realty LP  
PO Box 40509  
Indianapolis, IN 46240  
(18-30-100-009-0000)

Sheboygan Holdings, LLC  
1 Oak Brook Terrace #400  
Oak Brook Terrace, IL 60181  
(18-30-100-011-0000)

Zeljko Atlagic  
1000 Village Center Dr. #104  
Burr Ridge, IL 60527  
(18-30-300-058-1004)

TCF National Bank  
1405 Xenuim Lane North  
Plymouth, MN 55441  
(18-30-302-003-0000)

Jera LLC  
760 Village Center Dr. #200  
Burr Ridge, IL 60527  
(18-30-300-058-1007)

Laborer's Dist CNCL Pro  
999 McClintock Dr. #300  
Burr Ridge, IL 60527  
(18-30-303-017-0000)

Burr Deed LLC  
10350 Bren Road West  
Minnetonka, MN 55343  
(18-30-300-039-0000)

Life Time Fitness 130  
2902 Corporate PL  
Chanhassen, MN 55317  
(18-30-300-040-0000)

Burr Ridge Hotel Part.  
100 E. Rvr Cntr #1100  
Covington, KY 41011  
(18-30-303-016-0000)

Avergis and Associates  
2500 S. Highland Ave #103  
Lombard, IL 60148  
(18-30-100-005-0000)

IREAD LLC  
901 McClintock Dr.  
Burr Ridge, IL 60527  
(18-30-303-020-0000)

First Midwest Bank TR  
1000 Village Center Dr. #103  
Burr Ridge, IL 60527  
(18-30-300-058-1003)

TCF National Bank  
1405 Xenuim Lane North  
Plymouth, MN 55441  
(18-30-302-004-0000)

Anthony J Rebello  
1000 Village Center Dr. #106  
Burr Ridge, IL 60527  
(18-30-300-058-1006)

M JHAVERI  
PO Box 1268  
Morton Grove, IL 60053  
(18-30-100-003-0000)

Burr Deed LLC  
10350 Bren Road West  
Minnetonka, MN 55343  
(18-30-300-050-0000)

Burr Deed LLC  
10350 Bren Road West  
Minnetonka, MN 55343  
(18-30-300-047-0000)

AP Aim Burr Ridge, LLC  
PO Box 396  
Boca Raton, FL 33429  
(18-30-303-015-0000)

Doug Young  
18267 Casey Road  
Grayslake, IL 60030  
(18-30-100-008-0000)

IREAD LLC  
901 McClintock Dr.  
Burr Ridge, IL 60527  
(18-30-303-019-0000)

Sheboygan Holdings, LLC  
1 Oak Brook Terrace #400  
Oak Brook Terrace, IL 60181  
(18-30-100-012-0000)

Burr Deed LLC  
10350 Bren Road West  
Minnetonka, MN 55343  
(18-30-300-045-0000)

T S Dhaliwal  
1000 Village Center Dr. #105  
Burr Ridge, IL 60527  
(18-30-300-058-1005)

TCF National Bank  
1405 Xenuim Lane North  
Plymouth, MN 55441  
(18-30-300-026-0000)

Catharine Danly  
1000 Village Center Dr. #108  
Burr Ridge, IL 60527  
(18-30-300-058-1008)

Avgeris and Associates  
2500 S. Highland Ave 103  
Lombard, IL 60148  
(18-30-100-006-0000)

Zuhaib Ahmad  
1000 Village Center Dr. #109  
Willowbrook, IL 60527  
(18-30-300-058-1009)

Suresh P Agarwal  
1000 Village Center Dr. #101  
Burr Ridge, IL 60527  
(18-30-300-058-1001)

Jon A Skulborstad  
1000 Village Center De. #110  
Burr Ridge, IL 60527  
(18-30-300-058-1010)

Meg Davidson  
1000 Village Center Dr #102  
Burr Ridge, IL 60527  
(18-30-300-058-1002)

Kerry Postillion  
16W277 83rd Street, Suite A  
Burr Ridge, IL 60527  
(18-30-300-058-1011)

Dennis Quinn  
1000 Village Center Dr. #112  
Burr Ridge, IL 60527  
(18-30-300-058-1012)

Chester Chesslo  
1000 Village Center Dr. #205  
Burr Ridge, IL 60527  
(18-30-300-058-1021)

OPUS North Corporation  
10350 Bren Road West  
Minnetonka, IL 55343  
(18-30-300-058-1013)

Marianne C. Mangan  
1000 Village Center Drive #206  
Burr Ridge, IL 60527  
(18-30-300-058-1022)

Paula Whitelaw  
1000 Village Center Dr. #114  
Burr Ridge, IL 60527  
(18-30-300-058-1014)

Laura M. Mulvenna  
1000 Village Center Dr. #207  
Burr Ridge, IL 60527  
(18-30-300-058-1023)

Ruth A. Longman TR  
1000 Village Center Dr. #115  
Burr Ridge, IL 60527  
(18-30-300-058-1015)

Annette W. Jones  
1000 Village Center Dr. #208  
Burr Ridge, IL 60527  
(18-30-300-058-1024)

Yan Zhao  
1000 Village Center Drive #116  
Burr Ridge, IL 60527  
(18-30-300-058-1016)

Paula Lesniewski  
1000 Village Center Dr. #209  
Burr Ridge, IL 60527  
(18-30-300-058-1025)

Ruthann I McCarty TR  
1000 Village Center Dr. #201  
Burr Ridge, IL 60527  
(18-30-300-058-1017)

Surinder Sahajpal  
8200 Oak Knoll Dr.  
Burr Ridge, IL 60527  
(18-30-300-058-1026)

Anthony J Tunney  
1000 Village Center Dr. #202  
Burr Ridge, IL 60527  
(18-30-300-058-1018)

John & G Oconnor  
1000 Village Center Dr. #211  
Burr Ridge, IL 60527  
(18-30-300-058-1027)

Arlene A. Siminek  
1000 Village Center Dr. #203  
Burr Ridge, IL 60527  
(18-30-300-058-1019)

Paul & Marybeth Vonhuben  
1000 Village Center Dr. #212  
Burr Ridge, IL 60527  
(18-30-300-058-1028)

Jason Chen  
1000 Village Center Drive #204  
Burr Ridge, IL 60527  
(18-30-300-058-1020)

Mr. & Mr.s James Allerson  
1000 Village Center Dr. #213  
Burr Ridge, IL 60527  
(18-30-300-058-1029)

OPUS North Corporation  
10350 Bren Road West  
Minnetonka, IL 55343  
(18-30-300-058-1030)

Barbara Spitkovsky  
1000 Village Center Dr. #215  
Burr Ridge, IL 60527  
(18-30-300-058-1031)

Geraldine Nardi  
1000 Village Center Dr. #216  
Burr Ridge, IL 60527  
(18-30-300-058-1032)

Kathleen Binks  
1000 Village Center Dr. #301  
Burr Ridge, IL 60527  
(18-30-300-058-1033)

Christina Danly Denton  
1000 Village Center Dr. #302  
Burr Ridge, IL 60527  
(18-30-300-058-1034)

Marquette B&T 20209  
305 W. Briarcliff Rd. #101  
Bolingbrook, IL 60440  
(18-30-300-058-1035)

Gary Denise Lehnert  
1000 Village Center Dr. #304  
Burr Ridge, IL 60527  
(18-30-300-058-1036)

OPUS North Corporation  
10350 Bren Road West  
Minnetonka, IL 55343  
(18-30-300-058-1037)

Estate of Grace Ligon  
111 W. Monroe St. 16WTRE  
Chicago, IL 60603  
(18-30-300-058-1038)

Brenda Helms Trust  
1000 Village Center Dr. #307  
Burr Ridge, IL 60527  
(18-30-300-058-1039)

V Nidea III & M NI  
1000 Village Center Dr. #308  
Burr Ridge, IL 60527  
(18-30-300-058-1040)

Frank Tabashk  
1000 Village Center Dr. #309  
Burr Ridge, IL 60527  
(18-30-300-058-1041)

Resource Partners, LLC  
1000 Village Center Dr. #310  
Burr Ridge, IL 60527  
(18-30-300-058-1042)

OPUS North Corporation  
10350 Bren Road West  
Minnetonka, IL 55343  
(18-30-300-058-1043)

Pierre E Wakim  
107 Oak Rodge Dr.  
Burr Ridge, IL 60527  
(18-30-300-058-1044)

Josephine Koutsku  
1000 Village Center Dr. #313  
Burr Ridge, IL 60527  
(18-30-300-058-1045)

James Bowman  
1000 Village Center Dr. #314  
Burr Ridge, IL 60527  
(18-30-300-058-1046)

Timothy Ormond  
1000 Village Center Dr. #315  
Burr Ridge, IL 60527  
(18-30-300-058-1047)

OPUS North Corporation  
10350 Bren Road West  
Minnetonka, IL 55343  
(18-30-300-058-1048)

James Coogan  
1000 Village Center Dr. #401  
Burr Ridge, IL 60527  
(18-30-300-058-1049)

Asle Klemma  
1000 Village Center Dr. #403  
Burr Ridge, IL 60527  
(18-30-300-058-1050)

Smith U405  
1000 Village Center Dr. #405  
Burr Ridge, IL 60527  
(18-30-300-058-1051)

Shelley Ritchie T. Fick  
1000 Village Center Dr. #406  
Burr Ridge, IL 60527  
(18-30-300-058-1052)

Ceola Woeltje  
1000 Village Center Dr. #407  
Burr Ridge, IL 60527  
(18-30-300-058-1053)

Nada Jensen  
1000 Village Center Dr. #408  
Burr Ridge, IL 60527  
(18-30-300-058-1054)

William Renkosik  
1000 Village Center Dr. #409  
Burr Ridge, IL 60527  
(18-30-300-058-1055)

Thomas Mouroukas  
1000 Village Center Dr. #410  
Burr Ridge, IL 60527  
(18-30-300-058-1056)

Louise Juckiness  
1000 Village Center Dr. #411  
Burr Ridge, IL 60527  
(18-30-300-058-1057)

Gertrude Ward TR  
1000 Village Center Dr. #414  
Burr Ridge, IL 60527  
(18-30-300-058-1058)

Jan Christopher  
1000 Village Center Dr. #416  
Burr Ridge, IL 60527  
(18-30-300-058-1059)

Paul Walk  
36 Old Mill Lane  
Burr Ridge, IL 60527  
(18-30-300-054-1001)

R Canino  
850 Village Center Dr. #202  
Burr Ridge, IL 60527  
(18-30-300-054-1002)

Vincenzo Marino  
850 Village Center Dr. #203  
Burr Ridge, IL 60527  
(18-30-300-054-1003)

Amertit Singh  
51 Ashton Drive  
Burr Ridge, IL 60527  
(18-30-300-054-1004)

Jerry M Simmons  
850 Village Center Dr. #205  
Burr Ridge, IL 60527  
(18-30-300-054-1005)

Michael Yost  
820 Village Center Dr. #206  
Burr Ridge, IL 60527  
(18-30-300-054-1006)

Evaldas Galentas  
850 Village Center Dr. #207  
Burr Ridge, IL 60527  
(18-30-300-054-1007)

J Vondruska  
60 Tomlin Circle  
Burr Ridge, IL 60527  
(18-30-300-054-1010)

E. Carnevale  
850 Village Center Dr. #213  
Burr Ridge, IL 60527  
(18-30-300-054-1013)

Gerald Schoppen  
850 Village Center Dr. #216  
Burr Ridge, IL 60527  
(18-30-300-054-1016)

Russell P Smith  
100 Tower Dr. Suite #111  
Burr Ridge, IL 60527  
(18-30-300-054-1019)

Ashok Kohari & A Kot  
850 Village Center Dr. #301  
Burr Ridge, IL 60527  
(18-30-300-054-1022)

Devindra & Usha Sharma  
6652 Manor Dr.  
Burr Ridge, IL 60527  
(18-30-300-054-1025)

P Jepsen  
850 Village Center Dr. #308  
Burr Ridge, IL 60527  
(18-30-300-054-1028)

Wesley Tate  
850 Village Center Dr. #311  
Burr Ridge, IL 60527  
(18-30-300-054-1031)

Vijaya Sarma Ins  
7707 Hamilton Avenue  
Burr Ridge, IL 60527  
(18-30-300-054-1034)

Michalak & Vicari  
850 Village Center Dr. #208  
Burr Ridge, IL 60527  
(18-30-300-054-1008)

R. Sileikis  
850 Village Center Dr. #211  
Burr Ridge, IL 60527  
(18-30-300-054-1011)

Janet Plecki  
850 Village Center Dr. #214  
Burr Ridge, IL 60527  
(18-30-300-054-1014)

Kil Nam & Heeja Kim  
5623 S. Garfield Ave  
Hinsdale, IL 60521  
(18-30-300-054-1017)

Dominic Altobelli  
850 Village Center Dr. #220  
Burr Ridge, IL 60527  
(18-30-300-054-1020)

Sheela Singh  
9487 Falling Water Dr.  
Burr Ridge, IL 60527  
(18-30-300-054-1023)

Real Estate 911 LLC  
114 Shore Dr.  
Burr Ridge, IL 60527  
(18-30-300-054-1026)

Mr. & Mrs. Kamenko Jovic  
7920 Deer View Court  
Burr Ridge, IL 60527  
(18-30-300-054-1029)

Norbert & Joanne Kuksra  
850 Village Center Dr.  
Burr Ridge, IL 60527  
(18-30-300-054-1032)

David Atkenson  
14640 John Humphrey Dr.  
Orland Park, IL 60462  
(18-30-300-054-1035)

Indigo Management, Inc.  
7223 S. Route 83 PMB208  
Willowbrook, IL 60527  
(18-30-300-054-1009)

Current Occupant  
850 Village Center #212  
Burr Ridge, IL 60527  
(18-30-300-054-1012)

Ather Nizam  
401 Tamerton Park Way  
Burr Ridge, IL 60527  
(18-30-300-054-1015)

C. Boccumini  
850 Village Center Dr. #218  
Burr Ridge, IL 60527  
(18-30-300-054-1018)

Alice Martin  
6115 Timber Ridge Court  
Indian Head, IL 60525  
(18-30-300-054-1021)

Sonia Dombkowski  
8521 Johnston Road  
Burr Ridge, IL 60527  
(18-30-300-054-1024)

S&U Patel  
PO Box 267  
Westmont, IL 60559  
(18-30-300-054-1027)

J Kuksta  
850 Village Center Dr. #310  
Burr Ridge, IL 60527  
(18-30-300-054-1030)

Anthony Formato  
5236 Victor Street  
Downers Grove, IL 60515  
(18-30-300-054-1033)

Jason Nash  
850 Village Center Dr. #316  
Burr Ridge, IL 60527  
(18-30-300-054-1036)



Winkle Lee  
850 Village Center Dr. #317  
Burr Ridge, IL 60527  
(18-30-300-054-1037)

Christine Randin  
250 E. Pearson St. #3202  
Chicago, IL 60611  
(18-30-300-054-1038)

Kathleen Jaszka  
850 Village Center Dr. #319  
Burr Ridge, IL 60527  
(18-30-300-054-1039)

Rhshi Sharma  
PO Box 450  
Palos Heights, IL 60463  
(18-30-300-054-1040)

Nick Simov 321  
850 Village Center Dr. #321  
Burr Ridge, IL 60527  
(18-30-300-054-1041)

Lali Singh  
115 Circle Ridge Dr.  
Burr Ridge, IL 60527  
(18-30-300-054-1042)

Dawn Zumstein Marie  
850 Village Center Dr. #402  
Burr Ridge, IL 60527  
(18-30-300-054-1043)

James Chesniak  
850 Village Center Dr. #404  
Burr Ridge, IL 60527  
(18-30-300-054-1044)

P & A Seus  
850 Village Center Dr. #405  
Burr Ridge, IL 60527  
(18-30-300-054-1045)

Allan Thom  
850 Village Center Dr. #406  
Burr Ridge, IL 60527  
(18-30-300-054-1046)

George Gianakas  
9320 W. 122nd Street  
Palos Park, IL 60464  
(18-30-300-054-1047)

John Yanney  
131 Rancho Mirage Dr.  
Kissimmee, FL 34759  
(18-30-300-054-1048)

C&S Prosek  
8218 Kathryn Ct.  
Burr Ridge, IL 60527  
(18-30-300-054-1049)

Samuel Basilous  
529 Lisk Avenue  
Staten Island, NY 10303  
(18-30-300-054-1050)

B&L Dujlovich  
8200 Lake Ridge Dr.  
Burr Ridge, IL 60527  
(18-30-300-054-1052)

Richard Michalak  
850 Village Center Dr. #414  
Burr Ridge, IL 60527  
(18-30-300-054-1053)

Diane Vivo  
850 Village Center Dr. #415  
Burr Ridge, IL 60527  
(18-30-300-054-1054)

850 BR LLC  
2500 S. Highland #103  
Lombard, IL 60148  
(18-30-300-054-1056)

Marwan Kasi  
850 Village Center Dr. #418  
Burr Ridge, IL 60527  
(18-30-300-054-1057)

Kumud Barman  
9311 Tandragee Dr.  
Orland Park, IL 60462  
(18-30-300-054-1058)

Vijay Singhal  
405 Ambriance Dr.  
Burr Ridge, IL 60527  
(18-30-300-054-1059)

James T. Obrien  
6345 Martin Drive  
Willowbrook, IL 60527  
(18-30-300-054-1060)

Jogar, LLC  
760 Village Center Dr.  
Burr Ridge, IL 60527  
(18-30-300-055-1001)

Jon Skulborstad  
1000 Village Center Dr.  
Burr Ridge, IL 60527  
(18-30-300-055-1002)

Rashid ALI KAIZEN SYST  
760 Village Center Dr. #220  
Burr Ridge, IL 60527  
(18-30-300-055-1003)

PPC Real Estate, LLC  
760 Village Center Dr. #240  
Burr Ridge, IL 60527  
(18-30-300-055-1004)

Jerate, LLC  
760 Village Center Dr. #200  
Burr Ridge, IL 60527  
(18-30-300-055-1005)

Don K & Annette Johnson  
801 Village Center 201  
Burr Ridge, IL 60527  
(18-30-300-057-1001)

Richard Holec  
14331 Oakwood Court  
Orland Park, IL 60462  
(18-30-300-057-1002)

Daniel P Keefe  
801 Village Center Dr. #203  
Burr Ridge, IL 60527  
(18-30-300-057-1003)

Raghuvansh & Ira Kumar  
8161 Ridgpointe Dr.  
Burr Ridge, IL 60527  
(18-30-300-057-1004)

Ishanjit S. Sidhu  
3816 Littlestone Court  
Naperville, IL 60564  
(18-30-300-057-1007)

Carol Zapka  
801 Village Center Dr. #302  
Burr Ridge, IL 60527  
(18-30-300-057-1010)

Paul Bellisario  
801 Village Center Dr. #305  
Burr Ridge, IL 60527  
(18-30-300-057-1013)

Maureen Denard  
801 Village Center Dr. #308  
Burr Ridge, IL 60527  
(18-30-300-057-1016)

Debra Sutkowski Markma  
801 Village Center Dr. 403  
Burr Ridge, IL 60527  
(18-30-300-057-1019)

Phillip J Salamone  
801 Village Center Dr.  
Burr Ridge, IL 60527  
(18-30-300-057-1022)

Gregory Schultz  
7900 S. Cass Avenue  
Darien, IL 60561  
(18-30-300-054-1051)

Caryn Dombro  
801 Village Center Dr. #205  
Burr Ridge, IL 60527  
(18-30-300-057-1005)

Nicholas Meyers  
801 Village Center #208  
Burr Ridge, IL 60527  
(18-30-300-057-1008)

Nancy Rizzuto  
801 Village Center Dr. #303  
Burr Ridge, IL 60527  
(18-30-300-057-1011)

Abdul Ilah Touleimat  
801 Village Center Dr. #306  
Burr Ridge, IL 60527  
(18-30-300-057-1014)

Devindra Sharma  
6652 Manor Dr.  
Burr Ridge, IL 60527  
(18-30-300-057-1017)

Larry Siebs  
801 Village Center Dr. #404  
Burr Ridge, IL 60527  
(18-30-300-057-1020)

Robert Harbour  
801 Village Center Dr. #407  
Burr Ridge, IL 60527  
(18-30-300-057-1023)

Perm Sharma  
505 Ambriance Dr.  
Burr Ridge, IL 60527  
(18-30-300-054-1055)

Alka Srivastava  
9 Lake Ridge Court  
Burr Ridge, IL 60527  
(18-30-300-057-1006)

Gabriel, Inc.  
600 Tollgate Road, Unit A  
Elgin, IL 60123  
(18-30-300-057-1009)

Dominic Fava  
801 Village Center Dr. #304  
Burr Ridge, IL 60527  
(18-30-300-057-1012)

William Dillard TR  
801 Village Center #307  
Burr Ridge, IL 60527  
(18-30-300-057-1015)

Sandra V Otto Declarat  
909 Cleveland Road  
Hinsdale, IL 60521  
(18-30-300-057-1018)

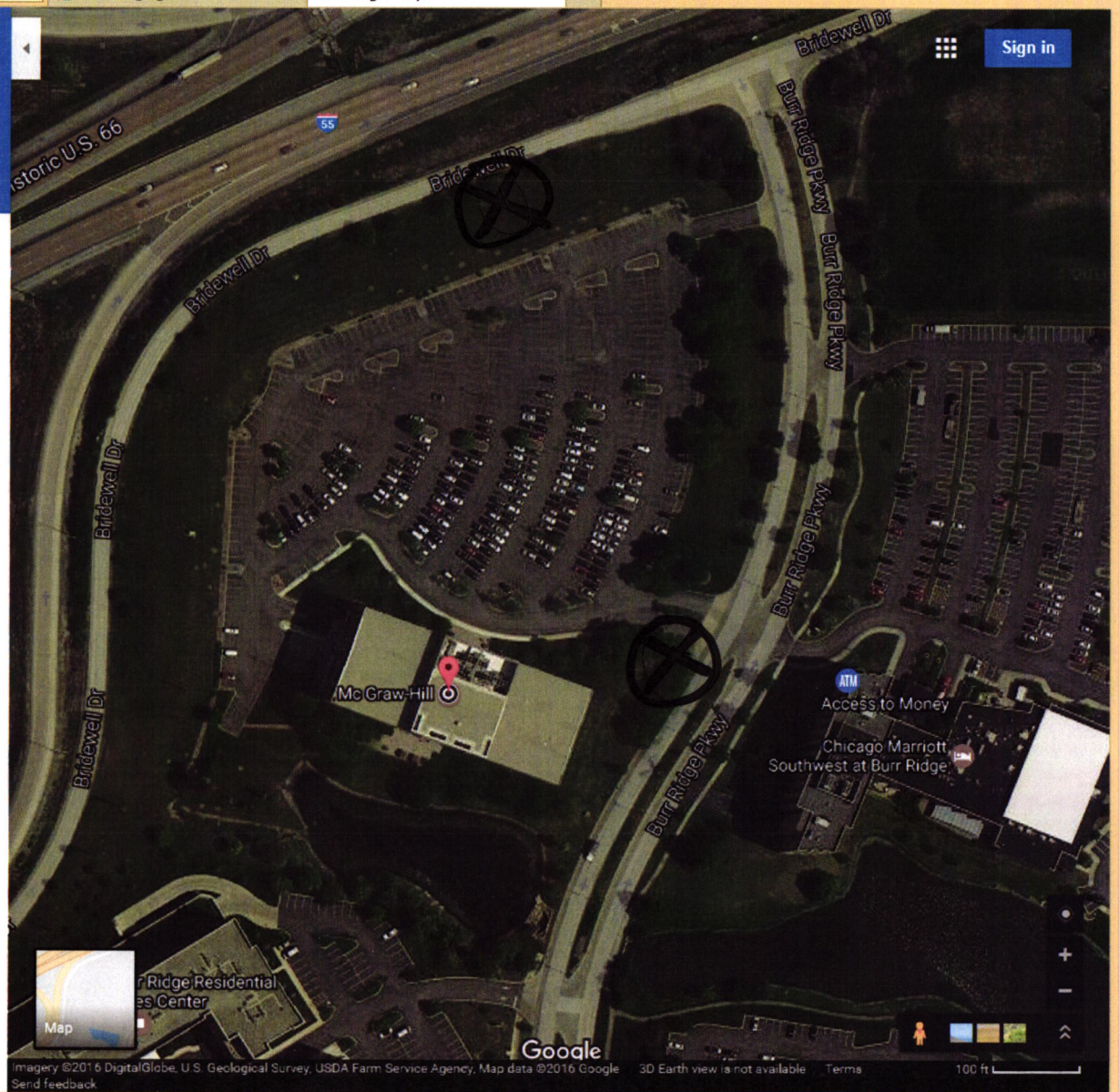
Asha P. Sarode  
502 Ambriance Dr.  
Burr Ridge, IL 60527  
(18-30-300-057-1021)

OPUS Real Est, IL VII  
10350 Bren Road West  
Minnetonka, IL 55343  
(18-30-300-057-1024)

← → <https://www.google.com/maps/dir/1333+Burr+Ri> burr-ridge.gov Google Maps

1333 Burr Ridge Parkway, Burr Ridge, IL 60!

1333 Burr Ridge Parkway  
V-01-2017  
1-16-17  
Plan Commission Meeting





**NOTICE**  
Village of Burr Ridge

There will be a public hearing to consider zoning changes or approvals for this property.

For further information, please call or visit:

Burr Ridge Village Hall  
7660 County Line Road  
(630)654-8181, Extension

Ask for Information Re: **401 2017**

Further details are available at:  
[www.burr-ridge.gov](http://www.burr-ridge.gov)

(see Public Hearing/Plan Commission Agenda)



### NOTICE

There will be a public hearing to consider zoning changes or approvals for this property.

For further information, please call or visit:

Burr Ridge Village Hall  
2640 County Line Road  
Burr Ridge, IL 60415-4908, Extension 1

Ask for information re: Y08-2017-11861

Further details are available at:  
[www.burr-ridge.gov](http://www.burr-ridge.gov)

1st Public Hearing/Plan Commission Approval



**VILLAGE OF BURR RIDGE  
COMMUNITY DEVELOPMENT DEPARTMENT  
STAFF REPORT AND SUMMARY**

**Z-02-2017; 15W069 and 15W081 91<sup>st</sup> Street (Pacocho); Requests rezoning upon annexation as per Section VI of the Burr Ridge Zoning Ordinance to the R-2B or R-3 Single Family Residence District.**

**Prepared For:** Village of Burr Ridge Plan Commission / Zoning Board of Appeals  
Greg Trzupke, Chairman

**Prepared By:** Doug Pollock, AICP  
Community Development Director

**Date of Hearing:** February 20, 2017

**GENERAL INFORMATION**

**Petitioner:** Paul Pacocha, Building Resource Group, LLC

**Property Owner:** Lori Schoenthaler

**Petitioner's Status:** General Contractor

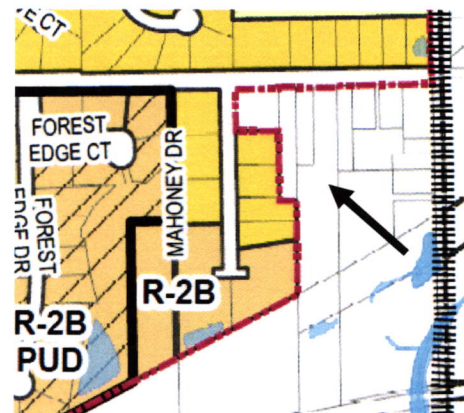
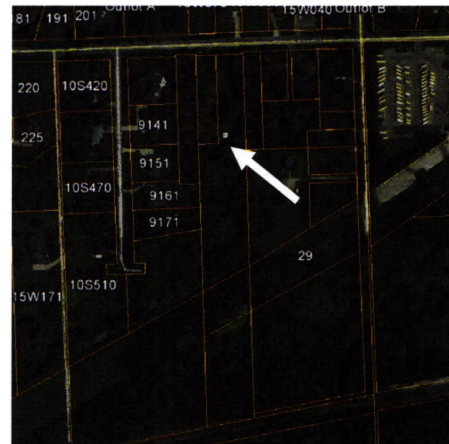
**Land Use Plan:** Recommends Single Family Residential

**Existing Zoning:** Unincorporated

**Existing Land Use:** R-1 DuPage County (100,000 minimum lot size)

**Site Area:** 5 Acres

**Subdivision:** None



**SUMMARY**

The petitioner represents a property owner seeking to annex a property into the Village of Burr Ridge; zone the property for residential use, remove the existing home on the property, and construct a single-family residence on the property with connection to the Village’s water main on 91<sup>st</sup> Street. The petitioner has submitted a petition and plat for annexation. Concurrent with the annexation, it is the practice of the Village to consider the appropriate zoning and rezone the property at the same time it is annexed.

The legal notice for the rezoning included options for either the R-3 District or the R-2B District. The property is adjacent to both districts. The following is a comparison of the two districts.

<b>R-2B and R-3 District Regulations</b>								
	<b>Minimum Lot Area</b>	<b>Minimum Lot Width</b>	<b>Minimum Front Yard</b>	<b>Minimum Corner Side Yard</b>	<b>Minimum Interior Side Yard</b>	<b>Minimum Rear Yard Setback</b>	<b>Maximum Building Height</b>	<b>Maximum Floor Area</b>
<b>R-2B</b>	30,000 square feet	125 feet	40 feet & minimum of adjacent homes	40 feet	17 feet	55 feet	30 feet & 2 1/2 stories	0.2
<b>R-3</b>	20,000 square feet	100 feet	30 feet & minimum of adjacent homes	30 feet	10 feet	50 feet	30 feet & 2 1/2 stories	0.2

**COMPREHENSIVE PLAN**

The Future Land Use Plan in the Burr Ridge Comprehensive Plan recommends single family residential use for this property and the surrounding area. The Plan further recommends that “Future residential developments should be encouraged to have lot sizes of 30,000 square feet or larger.”

**SURROUNDING ZONING**

The property is adjacent to both R-3 and R-2B Districts. The R-3 District is located to the north and along the north half of the west property line. The south half of the west property line is adjacent to the R-2B District. The area to the east is unincorporated and within the DuPage County R-1 District.

**FINDINGS OF FACT AND RECOMMENDATIONS**

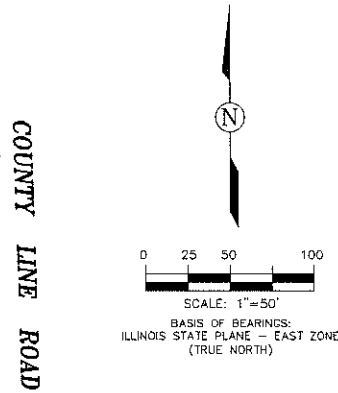
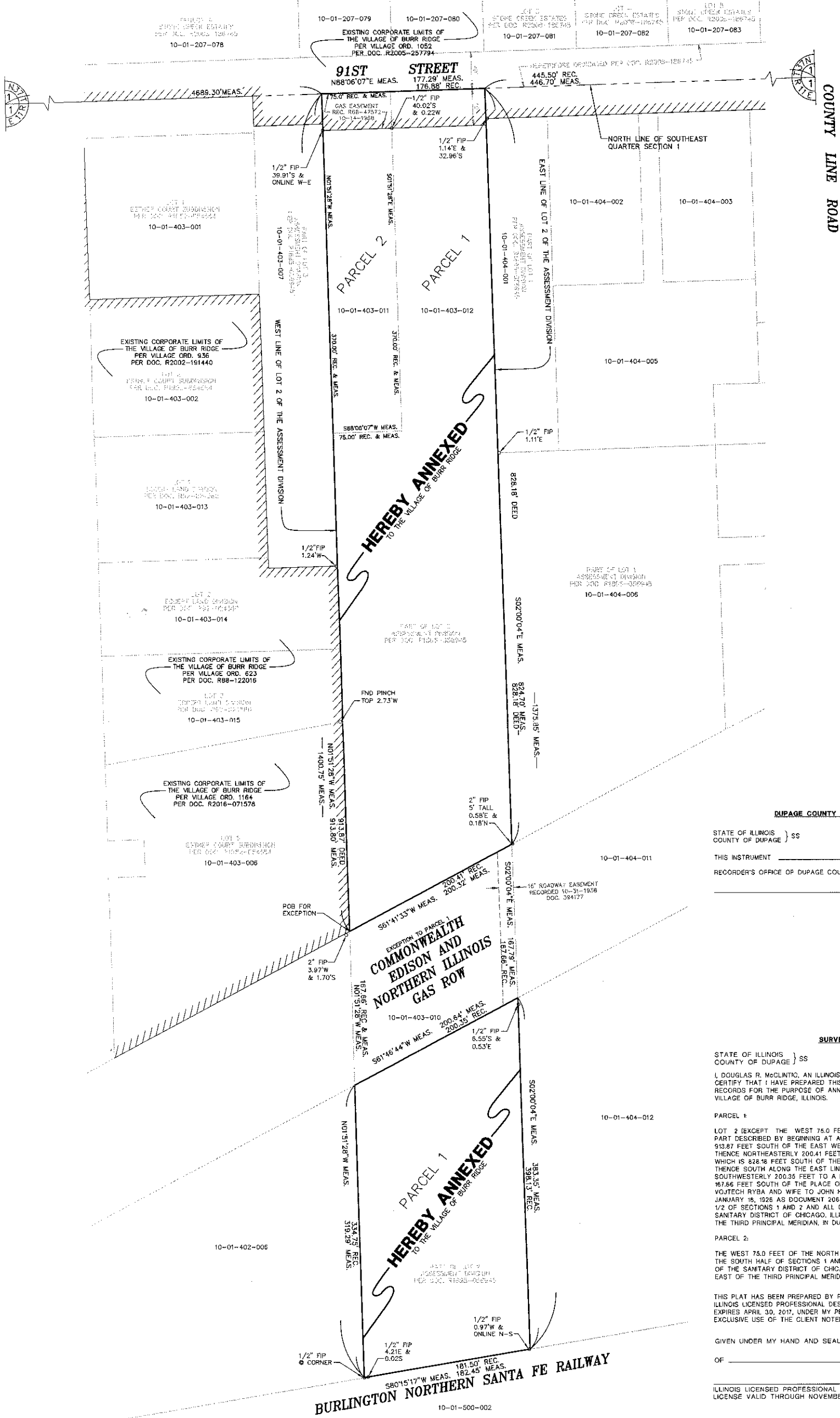
The Findings of Fact for the special use have been prepared by the petitioner and may be approved if the Plan Commission is in agreement. Either the R-3 or the R-2B District would accommodate the petitioners’ plans for the property.

# PLAT OF ANNEXATION

OF

PART OF SECTION 1, TOWNSHIP 37 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

PARCEL	ADDRESS	AREA (SF)	PIN
1	15W069 91ST STREET	190,655	10-01-403-012
2	15W081 91ST STREET	27,750	10-01-403-011



- LEGEND**
- BOUNDARY
  - - - - EXISTING EASEMENT LINE
  - - - - EXISTING LOT LINE
  - CENTER LINE
  - BUILDING SETBACK LINE
  - RIGHT-OF-WAY
  - EXISTING BURR RIDGE CORPORATE LIMITS

- ABBREVIATIONS**
- REC. RECORD DATA
  - MEAS. MEASURED DATA
  - DEED DEEDED DATA
  - R. RADIUS
  - A. ARC DATA
  - ROW RIGHT OF WAY
  - PL CENTER LINE
  - CL PROPERTY LINE
  - PU & DE PUBLIC UTILITIES & DRAINAGE EASEMENTS

**DUPAGE COUNTY RECORDER'S CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

THIS INSTRUMENT \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ AT \_\_\_\_\_ O'CLOCK.

RECORDER OF DEEDS

**SURVEYOR'S CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

I, DOUGLAS R. McCLINTIC, AN ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE PREPARED THIS PLAT FROM FIELD SURVEYS AND EXISTING PUBLIC RECORDS FOR THE PURPOSE OF ANNEXING THE FOLLOWING DESCRIBED PROPERTY TO THE VILLAGE OF BURR RIDGE, ILLINOIS.

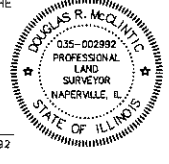
**PARCEL 1:**  
LOT 2 (EXCEPT THE WEST 75.0 FEET OF THE NORTH 370.0 FEET) AND (EXCEPT THAT PART DESCRIBED BY BEGINNING AT A POINT IN THE WEST LINE OF SAID LOT 2 WHICH IS 913.87 FEET SOUTH OF THE EAST WEST CENTER SECTION LINE OF SAID SECTION 1; THENCE NORTHEASTERLY 200.41 FEET TO A POINT IN THE EAST LINE OF SAID LOT 2, WHICH IS 828.98 FEET SOUTH OF THE EAST AND WEST CENTER LINE OF SAID SECTION 1; THENCE SOUTH ALONG THE EAST LINE OF SAID LOT 2, 167.66 FEET; THENCE SOUTHWESTERLY 200.35 FEET TO A POINT IN THE EAST LINE OF SAID LOT 2, WHICH IS 167.66 FEET SOUTH OF THE PLACE OF BEGINNING, CONVEYED BY WARRANTY DEED FROM VOJTECH RYBA AND WIFE TO JOHN H. GULICK, DATED JANUARY 13, 1926 AND RECORDED JANUARY 18, 1926 AS DOCUMENT 2083871 OF THE ASSESSMENT DIVISION OF THE SOUTH 1/2 OF SECTIONS 1 AND 2 AND ALL OF SECTIONS 11 AND 12, LYING NORTH OF THE SANITARY DISTRICT OF CHICAGO, ILLINOIS IN TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

**PARCEL 2:**  
THE WEST 75.0 FEET OF THE NORTH 370.0 FEET OF LOT 2 THE ASSESSMENT DIVISION OF THE SOUTH HALF OF SECTIONS 1 AND 2 AND ALL OF SECTIONS 11 AND 12, LYING NORTH OF THE SANITARY DISTRICT OF CHICAGO, ILLINOIS, IN TOWNSHIP 37 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

THIS PLAT HAS BEEN PREPARED BY ROAKE AND ASSOCIATES, INC., ILLINOIS LICENSED PROFESSIONAL DESIGN FIRM NO. 807, LICENSE EXPIRES APRIL 30, 2017, UNDER MY PERSONAL DIRECTION FOR THE EXCLUSIVE USE OF THE CLIENT NOTED HEREON.

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR NO. 2992  
LICENSE VALID THROUGH NOVEMBER 30, 2018



**ROAKE AND ASSOCIATES, INC.**  
CONSULTING ENGINEERS . LAND SURVEYORS . PLANNERS  
1687 HIGH GROVE LANE . NAPERVILLE, ILLINOIS 60540  
TEL (800) 356-9232 . FAX (800) 356-9267

PREPARED FOR:  
**PACOCHA CONSTRUCTION, LLC**  
4776 SNAPJACK CIRCLE  
NAPERVILLE, ILLINOIS 60564  
TEL. (630) 303-3743

REVISIONS		
NO.	DATE	DESCRIPTION

PART OF LOT 2 ASSESSMENT DIVISION				
PLAT OF ANNEXATION				
DRN/CKD, BY: MAJ/DRM	FILE: L2ANNEX	FLD. BK./PG.: 263/48	SHEET NO. 1	
SCALE: 1"=50'	DATE: 12/29/16	JOB NO.: 135.160428	1 OF 1	





Findings of Fact  
**Map Amendment (Rezoning)**  
Burr Ridge Zoning Ordinance

**Address:**

15W069 91st street

---

As per Section XIII.J.3 of the Village of Burr Ridge Zoning Ordinance, for an amendment to be approved, the petitioner must confirm all of the following findings by providing facts supporting each finding.

- a. Existing uses of property within the general area of the property in question.

The property boundaries are mainly adjoined by single family homes with the remainder being utility easements and light commercial.

- b. The zoning classification(s) of property within the general area of the property in question.

Properties within the general area, in DuPage County are R1, R2B, and R3.

Properties within the general area, in Cook County are SR-1 and L-1.

- c. The suitability of the property in question to the uses permitted under the existing zoning classification.

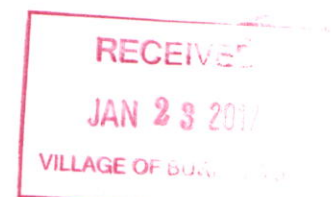
Existing zoning is R1. This suits the use permitted.

- d. The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place in its present zoning classification.

The trend of development in the area is towards single family homes.

- e. The impact upon the objectives of the Official Comprehensive Plan of the Village of Burr Ridge, as amended.

The use of the property will not negatively impact the objectives of the official comprehensive plan, as laid in detail. The future use will preserve wooded and natural areas.





# VILLAGE OF BURR RIDGE

## PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

ADDRESS OF PROPERTY: 154069 91st Street & PIN # 10-01-403-012 &  
154081 91st Street 10-01-403-011

### GENERAL INFORMATION

PETITIONER: PAUL PACOCHA - BUILDING RESOURCE GROUP, LLC  
(All correspondence will be directed to the Petitioner)

PETITIONER'S ADDRESS: 8171 SOUTH LEMONT RD PHONE: 630-774-8797  
LAKEVIEW, IL 60561

EMAIL: PPACOCHA@BUILDINGRESOURCEGROUP.LLC.COM

FAX: 630-910-9440

PROPERTY OWNER: LORI SCHOENTHALER STATUS OF PETITIONER: GENERAL CONTRACTOR

OWNER'S ADDRESS: 23 HIGHRIDGE RD PHONE: 630-774-8391  
WILLOW BROOK, IL 60527

### PROPERTY INFORMATION

SITE AREA: \_\_\_\_\_ EXISTING ZONING: DUPAGE County R-1

EXISTING USE/IMPROVEMENTS: VACANT WITH ONE GARAGE

SUBDIVISION: N/A

A CURRENT PLAT OF SURVEY WITH LEGAL DESCRIPTION MUST BE ATTACHED

### DESCRIPTION OF REQUEST

PLEASE INDICATE THE TYPE OF PUBLIC HEARING REQUESTED AND PROVIDE A DETAILED DESCRIPTION OF THE PROPOSED SPECIAL USE, REZONING, TEXT AMENDMENT, OR VARIATION(S) INCLUDING A REFERENCE TO THE APPROPRIATE ORDINANCE SECTION(S) AND REGULATION(S):

\_\_\_\_ Special Use  Rezoning \_\_\_\_ Text Amendment \_\_\_\_ Variation(s)

ANNEXATION INTO VILLAGE OF BURR RIDGE

Please Provide Written Description of Request - Attach Extra Pages If Necessary

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

PPACOCHA  
Petitioner's Signature

1-20-17  
Date Petition is Filed



VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

7660 County Line Rd. • Burr Ridge, IL 60527  
(630) 654-8181 • Fax (630) 654-8269 • [www.burr-ridge.gov](http://www.burr-ridge.gov)

Mickey Straub  
Mayor

Karen J. Thomas  
Village Clerk

Steven S. Stricker  
Village Administrator

January 27, 2017

**NOTICE OF PUBLIC HEARING**

Dear Property Owner:

The Plan Commission/Zoning Board of Appeals hereby provides notice that a public hearing will be conducted to consider the following petition:

**Z-02-2017: 15W069 and 15W081 91<sup>st</sup> Street** The Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by Paul Pacocha – Building Resource Group, LLC for rezoning upon annexation as per Section VI of the Burr Ridge Zoning Ordinance to the R-2B or R-3 Single Family Residence District. The petition number and property address is **Z-02-2017: 15W069 and 15W081 91<sup>st</sup> Street** and the Permanent Real Estate Index Numbers are: **10-01-403-012** and **10-01-403-011**.

A public hearing to consider this petition is scheduled for:

**Date:** Monday, February 20, 2017  
**Time:** 7:30 P.M. or as soon thereafter as the matter may be heard.  
**Location:** Village of Burr Ridge  
Board Room  
7660 South County Line Road  
Burr Ridge, IL 60527

Additional information is on file and available for public review at the Burr Ridge Village Hall or contact:

Doug Pollock, Community Development Director  
(630) 654-8181 ext. 3000  
[dpollock@burr-ridge.gov](mailto:dpollock@burr-ridge.gov)

All persons interested in commenting on the proposed request will be given an opportunity to do so at the public hearing. Written statements are encouraged and will be reviewed by the Plan Commission/Zoning Board of Appeals if received at the Village Hall on or before the Wednesday preceding the public hearing.

State of Illinois  
Darien  
DuPage County

AFFIDAVIT

I, Paul J Pacocha, being duly sworn under oath state as follows:

1. That I am the applicant in Application No. \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_ for an annexation for the property described in said application or have been duly authorized by the applicant to do the things referred to in this Affidavit and to make this Affidavit for and on behalf of said applicant.
2. That I, on the 20<sup>th</sup> day of January, 2017, searched the public records of the county Recorder of Deeds Office and official real estate tax records of the Counties, as necessary, to obtain, as contained in EXHIBIT 1 attached hereto, permanent index numbers and names and addresses of those persons who paid the taxes during the last preceding year on each lot or parcel of property lying in whole or in part within 750 feet of the boundary lines of the real estate described in the aforesaid application, or if such taxes were not paid, the names and addresses of those persons appearing in the official real estate tax records as the persons required to pay such taxes.

  
\_\_\_\_\_  
Signature of Applicant or Agent

State of Illinois  
Darien  
DuPage County

I, Amy Cattaneo, being first duly sworn, deposes and says that he/she is Affiant, and is duly authorized to make this affidavit; that he/she has read the above and foregoing affidavit and has knowledge of the facts stated therein, and that the matters and things therein set forth are true in substance and in fact.

SUBSCRIBED and SWORN to before me this

20 day of January, 2017

  
\_\_\_\_\_  
Notary Public



INDIAN HEAD INC.  
2100 CLEARWATER #250  
OAKBROOK, IL 60523  
23-06-300-005

WINDINGS TOWNHOUSE ASSOC.  
98 SANTA FE COURT  
WILLOW SPRINGS, IL 60480  
23-06-304-001

TIM MAHLER  
9040 RIDGE COURT  
WILLOWSPRINGS, IL 60480  
23-06-105-023

MANINDER S. KOHLI  
9078 RIDGE COURT  
WILLOW SPRINGS, IL 60480  
23-06-105-020

COMMONWEALTH EDISON CO.  
3 LINCOLN CENTRE  
4<sup>TH</sup> FLOOR  
OAKBROOK TERRACE, IL 60181  
23-06-300-002

BNSF RAILWAY COMPANY  
P.O. BOX 961089  
FORT WORTH, TX 76161  
23-06-300-008

DM & EA BRESSLER  
9060 RIDGE COURT  
WILLOW SPRINGS, IL 60480  
23-06-105-022

MANHAL KNILFEH  
9080 RIDGE COURT  
WILLOW SPRINGS, IL 60480  
23-06-105-019

FLAG CREEK DEVELOPMENT  
7930 GRANT STREET  
DARIEN, IL 60561  
23-06-300-006

THE OSCAR ACCOUNT  
12000 WILLOW RIDGE DRIVE  
WILLOW SPRINGS, IL 60480  
23-06-103-001

RICHARD A. NELSON  
9070 RIDGE COURT  
WILLOW SPRINGS, IL 60480  
23-06-105-021

SHERIF MEKHAIL  
9079 RIDGE COURT  
WILLOW SPRINGS, IL 60480  
23-06-105-018

Metro Water Reclamation Dist.  
100 E. Erie  
Chicago, IL 60611  
2306302001

PRIYAM SOOD TR  
181 ASHTON DRIVE  
BURR RIDGE, IL 60527  
1001207054

ANTHONY & KAREN NICOSIA  
202 ASHTON DRIVE  
BURR RIDGE, IL 60521  
1001207057

RAJ VENKATRAMAN  
8704 JOHNSTON ROAD  
BURR RIDGE, IL 60521  
1001207061

RICHARD LANDIS  
10800 S. CENTRAL AVE.  
CHICAGO RIDGE, IL 60415  
1001207064

RICHARD LANDIS  
10800 S. CENTRAL AVE.  
CHICAGO RIDGE, IL 60415  
1001207075

MAHAIRI INVESTMENT PARTNERS  
819 EAST WINDFALL DRIVE  
SCHAUMBURG, IL 60173  
1001207079

SERGY ZAMULA  
7015 WILMETTE AVE.  
WESTMONT, IL 60559  
1001207082

JEZDIMIR DRAGOJLOVIC  
14W171 91ST STREET  
BURR RIDGE, IL 60527  
1001401011

TR 127374  
8303 EAST HIGGINS ROAD  
#600  
CHICAGO, IL 60631  
1001401044

10S420 DREW LLC  
ATTN JUH RICO  
10S420 DRIVE AVE.  
BURR RIDGE, IL 60521  
1001402001

COLE TAYLOR BANK TRUST 93-2143  
P.O. BOX 1268  
MORTON GROVE, IL 60053  
1001207055

HARSHA K& MADHUPA SUD  
192 AHSTON DRIVE  
BURR RIDGE, IL 60527  
1001207058

RONALD & TERI MEEUSEN  
122 AHSTON DRIVE  
BURR RIDGE, IL 60521  
1001207062

GREATBANK TRUST TR 7103  
4401 W. 95TH STREET  
OAK LAWN, IL 60453  
1001207067

RICHARD LANDIS  
10800 S. CENTRAL AVE.  
BURR RIDGE, IL 60415  
1001207076

DASHURIJE TRUST  
15W050 91ST STREET  
BURR RIDGE, IL 60527  
1001207080

ANTHONY CASSATA  
450 VILLAGE CENTER DRIVE  
UNIT 417  
BURR RIDGE, IL 60527  
1001207083

COMMONWEALTH EDISON CO.  
3 LINCOLN CENTRE  
4TH FLOOR  
OAKBROOK TERRACE, IL 60181  
1001401013

DANIEL L & S MEHALEK  
225 FOREST EDGE CT  
BURR RIDGE, IL 60527  
1001401045

DANIELLE & DALE EGGERT  
10S440 DREW AVE.  
HINSDALE, IL 60521  
1001402002

R&P TR MALHOTRA  
201 ASHTON DRIVE  
BURR RIDGE, IL 60527  
1001207056

JAMES & STACEY TOSCAS  
172 AHSTON DRIVE  
BURR RIDGE, IL 60527  
1001207059

ROBERT & MARG AMATO DWYER  
112 ASHTON DRIVE  
BURR RIDGE, IL 60527  
1001207063

THOMAS & SUSAN PLUSS  
20 AHSTON DRIVE  
BURR RIDGE, IL 60522  
1001207068

REGAN LAND CORP.  
800 ROOSEVELT ROAD  
#E415  
GLEN ELLYN, IL 60130  
1001207078

MARIA & ANDREW FABER  
512 S. LONG AVE.  
CHICAGO, IL 60631  
1001207081

REGAN LAND TRUST  
800 E. ROOSEVELT ROAD  
#415  
GLEN ELLYN, IL 60130  
1001207084

M & LEILA OSMAN SHUKAIRY  
265 FOREST EDGE CT  
BURR RIDGE, IL 60527  
1001401043

MEHRDAD & V TR ABBASSIAN  
9220 FOREST EDGE CT  
BURR RIDGE, IL 60527  
1001401046

KATARZYNA TYLKA  
10S470 DREW AVE.  
BURR RIDGE, IL 60521  
1001402003

JEFFREY & SHARON WILLIAMS  
15W106 91ST STREET  
HINSDALE, IL 60521  
1001403001

NGA X NGUYEN  
15W101 91ST STREET  
HINSDALE, IL 60521  
1001403007

STANLEY & HALINA SMOLA TR  
9161 S. DREW AVE.  
BURR RIDGE, IL 60527  
1001403014

RAFAEL SAUCEDA JR  
15W031 91ST STREET  
HINSDALE, IL 60521  
1001404003

MADETKO MARTIN  
10S470 COUNTY LINE ROAD  
BURR RIDGE, IL 60527  
1001404006

O'BRIEN FAMILY PROPERTIES  
317 HAMBLETONIAN DRIVE  
OAK BROOK, IL 60523  
1001404009

SAI LAU & MANWAY LEUNG  
928 S. QUINCY STREET  
HINSDALE, IL 60521  
1001404012

METROPOLITAN SANITARY DISTRICT  
100 E. ERIE STREET  
CHICAGO, IL 60611  
1001405005

JESDIMIR & M DRAGOJLOVIC  
15W171 91ST  
BURR RIDGE, IL 60527  
1001402005

LAWANDA SAVAGE  
9141 DREW AVE.  
BURR RIDGE, IL 60527  
1001403002

COMMONWEALTH EDISON  
3 LINCOLN CENTRE  
4TH FLOOR  
OAKBROOK TERRACE, IL 60527  
1001403010

MICHAEL & ROSEMARY MORENO  
9171 DREW AVE.  
BURR RIDGE, IL 60521  
1001403015

NAYDAN CVETKOVICH  
10S410 COUNTY LINE ROAD  
HINSDALE, IL 60521  
1001404004

BASILIOS K BITSIARAS  
10S434 COUNTY LINE ROAD  
BURR RIDGE, IL 60527  
1001404007

MARCIN MADETKO  
10S470 COUNTY LINE ROAD  
BURR RIDGE, IL 60521  
1001404010

FOREST PRESERVE DISTRICT  
P.O. BOX 5000  
WHEATON, IL 60189  
1001405003

JAMES & EDITH MILLER  
15W047 91ST STREET  
BURR RIDGE, IL 60527  
1001404002

COMMONWEALTH EDISON  
3 LINCOLN CENTRE  
4TH FLOOR  
OAKBROOK TERRACE, IL 60181  
1001402006

BERNARD A. KAVANAUGH  
P.O. BOX 323  
UNION PIER, MI 49129  
1001403006

JOZEF & ANNA SZEWCZYK  
9151 S. DREW AVE.  
BURR RIDGE, IL 60521  
1001403013

EDITH & JAMES MILLER  
15W047 91ST STREET  
BURR RIDGE, IL 60527  
1001404001

ROLANDAS JONAVICIUS  
15W037 91ST STREET  
BURR RIDGE, IL 60527  
1001404005

EDWIN KAPITANEK JR.  
10S440 COUNTY LINE ROAD  
BURR RIDGE, IL 60527  
1001404008

COMMONWEALTH EDISON  
3 LINCOLN CENTRE  
4TH FLOOR  
OAK BROOK TERRACE, IL 60181  
1001404011

FOREST PRESERVE DISTRICT  
P.O. BOX 5000  
WHEATON, IL 60189  
1001405004

## LEGAL NOTICE

### NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Plan Commission and Zoning Board of Appeals of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, will conduct the following Public Hearings beginning at 7:30 p.m. on Monday, February 20, 2017, at the Burr Ridge Village Hall, 7660 County Line Road, Burr Ridge, Illinois 60527.

1. The Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by Paul Pacocha – Building Resource Group, LLC for rezoning upon annexation as per Section VI of the Burr Ridge Zoning Ordinance to the R-2B or R-3 Single Family Residence District. The petition number and property address is Z-02-2017: 15W069 and 15W081 91st Street and the Permanent Real Estate Index Numbers are: 10-01-403-012 and 10-01-403-011.

2. The Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by Eduardo Restani for special use approval as per Section X.F.2.a of the Burr Ridge Zoning Ordinance to permit automobile sales in an existing building. The petition number and property address is Z-03-2017: 60 Shore Drive and the Permanent Real Estate Index Numbers are: 09-35-203-005.

The Plan Commission/Zoning Board of Appeals reserves the right to continue said hearings from time to time as may be required without further notice, except as may be required by the Illinois Open Meetings Act.

BY ORDER OF THE PLAN COMMISSION/ZONING BOARD OF APPEALS OF THE VILLAGE OF BURR RIDGE, COOK AND DUPAGE COUNTIES, ILLINOIS.

GREG TRZUPEK

CHAIRMAN

MEMBERS: MIKE STRATIS, DEHN GRUNSTEN, LUISA HOCH, GREGORY SCOTT, MARY PRAXMARER, AND JIM BROLINE.

2/2/2017 4740215

4740215



# CHICAGO TRIBUNE

media group

Sold To:

VILLAGE OF BURR RIDGE - CU00410376  
7660 S County Line Rd Ste 2  
Burr Ridge, IL 60527-4721

Bill To:

VILLAGE OF BURR RIDGE - CU00410376  
7660 S County Line Rd Ste 2  
Burr Ridge, IL 60527-4721

## Certificate of Publication:

Order Number: 4740215  
Purchase Order: Michelle Mahlan

State of Illinois - DuPage

**Chicago Tribune Media Group** does hereby certify that it is the publisher of the Clarendon Hills-GH, Hinsdale-GH, LaGrange-GH, Oakbrook-GH, Western Springs-GH. The Clarendon Hills-GH, Hinsdale-GH, LaGrange-GH, Oakbrook-GH, Western Springs-GH is a secular newspaper, has been continuously published Weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 IL CS 5/5.

This is to certify that a notice, a true copy of which is attached, was published 1 time(s) in the Clarendon Hills-GH, Hinsdale-GH, LaGrange-GH, Oakbrook-GH, Western Springs-GH on Feb 02, 2017.

This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

PUBLICATION DATES: **Feb 02, 2017**.

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Clarendon Hills-GH, Hinsdale-GH, LaGrange-GH, Oakbrook-GH, Western Springs-GH

Executed at Chicago, Illinois on this

\_\_\_\_\_ Day of FEB 02 2017, by  
Day Month Year

**Chicago Tribune Media Group**

Deidra Durham

Notary Public





**Forest Preserve District  
of DuPage County**

35580 Naperville Road  
P.O. Box 5000  
Wheaton, IL 60189

630.933.7200  
Fax 630.933.7204  
TTY 800.526.0857  
dupageforest.org

Via email: [dpollock@burr-ridge.gov](mailto:dpollock@burr-ridge.gov)

February 13, 2017

Chairman Greg Trzupek, Chairman  
Plan Commission and Zoning Board of Appeals  
Village of Burr Ridge  
7660 South County Line Road  
Burr Ridge, IL 60527

Re: Public Hearing – 15W069 and 15W081 91<sup>st</sup> Street, Burr Ridge  
PINs: 10-01-403-012 and 10-01-403-011

Dear Mr. Trzupek,

The Forest Preserve District of DuPage County recently received a Notice of Public Hearing regarding Building Resource Group's petition to rezone the subject parcels upon their annexation to the Village of Burr Ridge. We appreciate receiving timely notification of such requests that may have an impact on District property, and thank you for the opportunity to comment.

District Staff has reviewed the information you provided and does not have any comments at this time. Please call me at (630) 933-7235 if you have any questions.

Sincerely,

Kevin Stough  
Manager of Land Preservation

cc: Joe Cantore, President  
Linda Painter, District 3 Commissioner  
Ed Stevenson, Acting Executive Director  
Dan Zinnen, Director of Resource Management and Development

Z-02-2017



**NOTICE**

There will be a public hearing to consider zoning changes or approvals for this property.

For further information, please call or visit:

Dur Village Hall  
1433 County Line Road  
(304) 545-9181 Extension

Ask for information by Z02 2017

Further details are available at [www.dur-ridge.gov](http://www.dur-ridge.gov)

(see Public Hearing Plan - Commission Agenda)

Z-02-2017

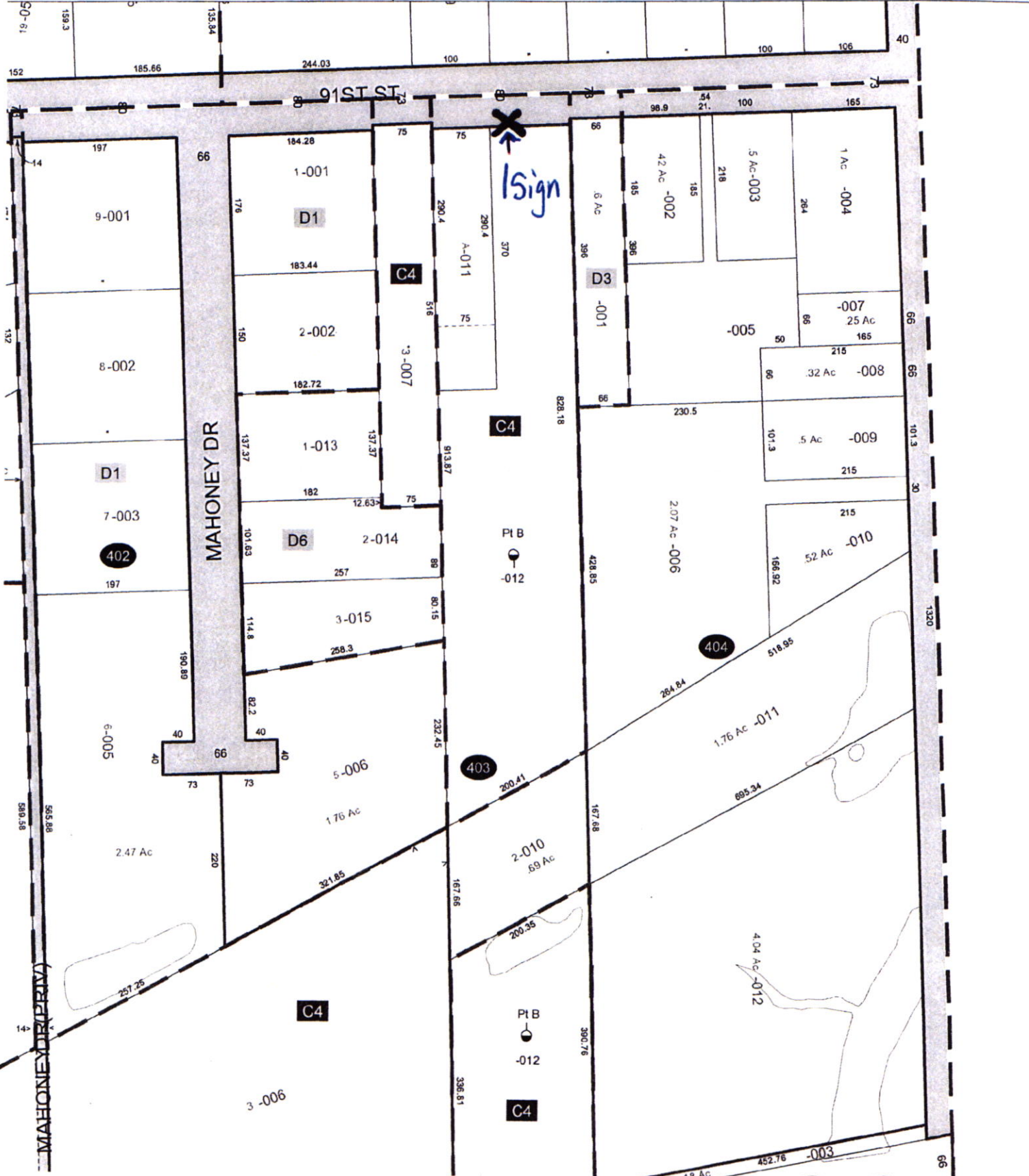
ROVE SOUTH (T37N-R11E) - SECTION 1 - SOUTHEAST QUARTER - EAST HALF  
DU PAGE COUNTY, ILLINOIS 2016 REAL ESTATE TAX ASSESSMENT PARCELS

-87.91705

-87.91461

15W100

15W000



X  
↑  
Sign

402

403

404

C4

C4

PI B  
-012

PI B  
-012

C4

MAHONEY DR

91ST ST



**VILLAGE OF BURR RIDGE  
COMMUNITY DEVELOPMENT DEPARTMENT  
STAFF REPORT AND SUMMARY**

**Z-03-2017; 60 Shore Drive (Restani); Requests special use as per Section X.F.2.a of the Burr Ridge Zoning Ordinance for an Automobile Sales and Service business in a GI General Industrial District.**

**Prepared For:** Village of Burr Ridge Plan Commission / Zoning Board of Appeals  
Greg Trzupek, Chairman

**Prepared By:** Doug Pollock, AICP  
Community Development Director

**Date of Hearing:** February 20, 2017

**GENERAL INFORMATION**

**Petitioner:** Eduardo Restani

**Property Owner:** BCL Burr Ridge LLC

**Petitioner's Status:** Potential Tenant

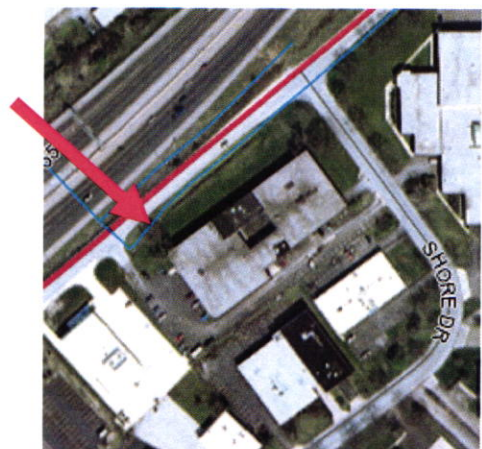
**Land Use Plan:** Recommends Light Industrial Uses

**Existing Zoning:** GI General Industrial District

**Existing Land Use:** Industrial Building

**Site Area:** 2.2 Acres

**Subdivision:** Hinsdale Industrial Park



## SUMMARY

The subject property is located at the southwest corner of Shore Drive and South Frontage Road. The property is improved with a 60,000 square foot industrial building. The petitioner proposes to occupy approximately 7,400 square feet of floor area for an automobile sales business.

The petitioner has submitted a business plan indicating that they would have approximately 60 vehicles for sale on the property and that most sales are conducted via the internet. The petitioner has also indicated they would agree to keep all of the vehicles for sale inside the building.

### Zoning History

Attached are summaries of public hearing petitions and Zoning Certificates of Occupancy for the subject property. This particular tenant space was previously occupied by Brand Max Motors. They received a special use approval in 2013 and vacated the property in 2016. Their special use was limited to Brand Max Motors and was not transferable. Other tenants in the building include a warehouse for Personalization Mall and another indoor automobile sales business.

### Compliance with the Comprehensive Plan

The Comprehensive Plan recommends light industrial uses for this property and the surrounding area. Limited commercial use may be considered compatible with the Comprehensive Plan.

### Compliance with the Zoning Ordinance

Automobile sales are listed as a special use in the GI District. Other retail sales and service businesses are also listed as special uses in the GI District.

### Findings of Fact and Recommendations

The petitioner has submitted findings of fact which may be approved if the Plan Commission is in agreement with those findings. If the Commission recommends approval of this request, staff recommends the following conditions:

- A. The special use permit shall be limited to the sales of pre-owned luxury automobiles with minor detailing and repairs.
- B. The special use shall be limited to the 7,400 square feet of floor area known as Suite A at 60 Shore Drive.
- C. The special use permit shall be limited to Eduardo Restani and shall expire at such time that Mr. Restani no longer occupies the space at 60 Shore Drive or at which time there is an assignment or termination of the lease for the space at 60 Shore Drive.
- D. Outside display and/or storage of any goods, materials, and automobiles shall be prohibited.



# **Petitions - 60 Shore Dr**

## **Village of Burr Ridge Plan Commission**

<b>Petition</b>	<b>Address</b>	<b>Petitioner</b>	<b>PC</b>	<b>BOT</b>	<b>Ordinance</b>
Z 22 2004	60 Shore Dr	Larry Kelsey for Heartland Performance Motors, Inc	10/18/2 Approval	11/8/2004 Approved	A-834-33-04
Petitioner requests special use approval per Section X.F.2 for indoor automobile sales and service facility.					
Z 27 2006	60 Shore Dr	Best of Everything	12/4/20 Approval	1/8/2007 Approved	A-834-01-07
Special use approval as per the Section X.F.2 of the Village of Burr Ridge Zoning Ordinance for an accessory retail use					
Z 27 2006	60 Shore Dr	Best of Everything	12/4/20 Approval	1/8/2007 Approved	A-834-01-07
Special use approval as per the Section X.F.2 of the Village of Burr Ridge Zoning Ordinance for an accessory retail use					
Z 09 2013	60 Shore Dr	Anita K. Muka	6/3/201 Approval	6/24/2013 Approved	A-834-17-13
Requests special use approval as per Section X.F.2.a of the Burr Ridge Zoning Ordinance for an automobile sales and Service business inside an existing building.					
Z 07 2014	60 Shore Dr	Forklift Exchange	7/7/201 Approval	7/28/2014 Approved	A-834-12-14
Requests a variation from Section XI.C.8 to permit parking in front of the building.					
Z 07 2014	60 Shore Dr	Forklift Exchange	7/7/201 Approval	7/28/2014 Approved	A-834-11-14
Requests special use approval as per Section X.F.2.a and X.F.2.k to permit sales of new construction equipment with outdoor display of product.					





**Current Occupancies for:**

**60 Shore Dr**

09-35-203-008

**Property Owner:**

Barnett Capital, LTD  
450 Skokie Blvd, #604  
Northbrook, IL 60062

<b>Business Name</b>	<b>Suite</b>	<b>Status</b>	<b>Floor Area</b>	
Personalization Mall		Active	20,000	Square Feet
Location to be used as an excess warehouse space for the main facility at 51 Shore Drive.				
Brandmax Motors, Inc	A	Active	7,500	Square Feet
Retail sales of pre-owned automobiles.				
Baffley Technology Industries	B	Active	1,500	Square Feet
Business office for solar systems sales. No on-site sales.				
Corvette Mike	C	Active	10,000	Square Feet
Sales and service of Corvettes and other specialty vehicles.				

**Current Floor Area Occupied: 39,000 Square Feet**



Findings of Fact  
**Special Use**  
Burr Ridge Zoning Ordinance

Address: \_\_\_\_\_

As per Section XII.K.7 of the Village of Burr Ridge Zoning Ordinance, for a special use to be approved, the petitioner must confirm all of the following findings by providing facts supporting each finding.

- a. The use meets a public necessity or otherwise provides a service or opportunity that is not otherwise available within the Village and is of benefit to the Village and its residents.
- b. The establishment, maintenance, or operation of the special use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.
- c. The special use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood in which it is to be located.
- d. The establishment of the special use will not impeded the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- e. Adequate utilities, access roads, drainage and/ or necessary facilities have been or will be provided.
- f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- g. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village of Burr Ridge as amended.
- h. The special use shall, in other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission or, if applicable, the Zoning Board of Appeals.

Midwest Auto Exchange,  
Ltd.

Midwestexchange1@gmail.co  
m

60 Shore Dr.

Burr Ridge IL, 60527

E. R. 312-771-1293

M. M. 630-673-5555

Detailed Description of special use;  
INTERNET AUTO SALES

Hours Of operation

Mon-Fri 10-7

Saturday 10-6

Sun. Closed

No. of employees: 2-3

No. of Customers: 35-50 Monthly

A. The sale of cars over the internet in Burr Ridge, will provide a revenue for our village as well as a greater number of guests coming to see and spend funds in our great town. We will provide village residents with the opportunity to compare and purchase vehicles close to home at a great value with happy customer service.

We expect to have approximately 60 vehicles, the majority being imported while all domestic units will be specialties such as 2500/3500 HD'S, Vettes, and Diesel units. Price range \$7,500 - \$50,000. About the partners: Eddie Restani: Burr Ridge Resident for over seventeen years, Member Chicago Mercantile Exchange for twenty plus years, R. E. Investor and local business supporter. Moe Mostafa: Willowbrook, business

entrepreneur. Working with several auto dealers from Bentley to Toyota for the past twenty years. Experienced in all facets of car business.

B. Special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare because 90% of customers have appointments. The majority of our business is in doors with clientele who are dedicated and are true buyers.

- C. The special use was permitted previously at this location and will provide Burr Ridge with new publicity and customers.
- D. It'll remain the same
- E. Yes, all in working order and hooked up
- F. Roads already in place
- G. No, it is not
- H. Yes, it will





# VILLAGE OF BURR RIDGE

## PETITION FOR PUBLIC HEARING PLAN COMMISSION/ZONING BOARD OF APPEALS

ADDRESS OF PROPERTY: 60 SHORE DR. PIN # \_\_\_\_\_

### GENERAL INFORMATION

PETITIONER: EDUARDO RESTANI  
(All correspondence will be directed to the Petitioner)

PETITIONER'S ADDRESS: 17 AMBRANCE DR. PHONE: (312) 771-1293

BURR RIDGE, IL - 60527 EMAIL: RESTANI17@COMCAST.NET

FAX: N/A

PROPERTY OWNER: BCL-BURR RIDGE LLC STATUS OF PETITIONER: TENANT

OWNER'S ADDRESS: 450 SKOKIE BLVD. STE #604 PHONE: 847-656-1185  
NORTHBROOK, IL - 60062

### PROPERTY INFORMATION

SITE AREA: \_\_\_\_\_ EXISTING ZONING: \_\_\_\_\_

EXISTING USE/IMPROVEMENTS: \_\_\_\_\_

SUBDIVISION: \_\_\_\_\_

**A CURRENT PLAT OF SURVEY WITH LEGAL DESCRIPTION MUST BE ATTACHED**

### DESCRIPTION OF REQUEST

PLEASE INDICATE THE TYPE OF PUBLIC HEARING REQUESTED AND PROVIDE A DETAILED DESCRIPTION OF THE PROPOSED SPECIAL USE, REZONING, TEXT AMENDMENT, OR VARIATION(S) INCLUDING A REFERENCE TO THE APPROPRIATE ORDINANCE SECTION(S) AND REGULATION(S):

Special Use     Rezoning     Text Amendment     Variation(s)

Please Provide Written Description of Request - Attach Extra Pages If Necessary

The above information and the attached Plat of Survey are true and accurate to the best of my knowledge. I understand the information contained in this petition will be used in preparation of a legal notice for public hearing. I acknowledge that I will be held responsible for any costs made necessary by an error in this petition.

Eduardo Restani  
Petitioner's Signature

1/23/17  
Date Petition is Filed

ORDINANCE NO. A-834-17-13

AN ORDINANCE GRANTING A SPECIAL USE FOR  
RETAIL SALES AND SERVICE OF AUTOMOBILES IN A GI GENERAL  
INDUSTRIAL DISTRICT PURSUANT TO THE VILLAGE OF BURR RIDGE ZONING  
ORDINANCE

(Z-09-2013: 60 Shore Drive - Mucha/Brand Max)

---

~~WHEREAS,~~ an application for a special use for certain real estate has been filed with the Village Clerk of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, and said application has been referred to the Plan Commission of said Village and has been processed in accordance with the Burr Ridge Zoning Ordinance; and

**WHEREAS,** said Plan Commission of this Village held a public hearing on the question of granting said special use on June 3, 2013 at the Burr Ridge Village Hall, at which time all persons desiring to be heard were given the opportunity to be heard; and

**WHEREAS,** public notice in the form required by law was provided for said public hearing not more than 30 nor less than 15 days prior to said public hearing by publication in the Suburban Life, a newspaper of general circulation in this Village, there being no newspaper published in this Village; and

**WHEREAS,** the Village of Burr Ridge Plan Commission has made its report on the request for a special use, including its findings and recommendations, to this President and Board of Trustees, and this President and Board of Trustees has duly

considered said report, findings, and recommendations.

**NOW THEREFORE, Be It Ordained** by the President and Board of Trustees of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, as follows:

**Section 1:** All Exhibits submitted at the aforesaid public hearing are hereby incorporated by reference. This President and Board of Trustees find that the granting of special use indicated herein is in the public good and in the best interests of the Village of Burr Ridge and its residents, is consistent with and fosters the purposes and spirit of the Burr Ridge Zoning Ordinance as set forth in Section II thereof.

**Section 2:** That this President and Board of Trustees, after considering the report, findings, and recommendations of the Plan Commission and other matters properly before it, in addition to the findings set forth in Section 1, finds as follows:

- A. That the Petitioner for the special use for the property located at 60 Shore Drive, Burr Ridge, Illinois, is Anita K. Mucha on behalf of Brand Max Motors (hereinafter "Petitioner"). The Petitioner requests special use approval as per Section X.F.2.a of the Burr Ridge Zoning Ordinance for an Automobile Sales and Service business in a GI General Industrial District. The subject property is located at 60 Shore Drive.
- B. That the proposed special use would not generate significant traffic and, thus, would not interfere with the continued use of adjacent properties.
- C. That the sales and service of automobiles will be located inside the building and the use will have no visual impact on adjacent properties.

- D. That there is a similar business located in the building but the majority of the building will remain industrial in its use and character.

**Section 3:** That special use approval as per Section X.F.2.a of the Burr Ridge Zoning Ordinance for an Automobile Sales and Service business in a GI General Industrial District *is hereby granted* for the property commonly known as 60 Shore Drive and with the Permanent Real Estate Index Number of 09-35-203-005.

**Section 4:** That the approval of this special use is subject to compliance with the following conditions:

- A. The special use permit shall be limited to the sales of pre-owned luxury automobiles with minor detailing and repairs.
- B. The special use shall be limited to the 7,400 square feet of floor area as designated on the site plan attached hereto as Exhibit A.
- C. The special use permit shall be limited to Brand Max Motors and shall expire at such time that Brand Max Motors no longer occupies the space at 60 Shore Drive or at which time there is an assignment or termination of the lease for the space at 60 Shore Drive.
- D. Outside display and/or storage of any goods, materials, and automobiles shall be prohibited.

**Section 5:** That this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law. The Village Clerk is hereby directed and ordered to publish this Ordinance in pamphlet form.







VILLAGE OF  
**BURR RIDGE**  
A VERY SPECIAL PLACE

7660 County Line Rd. • Burr Ridge, IL 60527  
(630) 654-8181 • Fax (630) 654-8269 • [www.burr-ridge.gov](http://www.burr-ridge.gov)

Mickey Straub  
Mayor

Karen J. Thomas  
Village Clerk

Steven S. Stricker  
Village Administrator

January 27, 2017

**NOTICE OF PUBLIC HEARING**

Dear Property Owner:

The Plan Commission/Zoning Board of Appeals hereby provides notice that a public hearing will be conducted to consider the following petition:

**Z-03-2017: 60 Shore Drive** The Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by Eduardo Restani for special use approval as per Section X.F.2.a of the Burr Ridge Zoning Ordinance to permit automobile sales in an existing building. The petition number and property address is **Z-03-2017: 60 Shore Drive** and the Permanent Real Estate Index Numbers are: **09-35-203-005**.

A public hearing to consider this petition is scheduled for:

**Date:** Monday, February 20, 2017  
**Time:** 7:30 P.M. or as soon thereafter as the matter may be heard.  
**Location:** Village of Burr Ridge  
Board Room  
7660 South County Line Road  
Burr Ridge, IL 60527

Additional information is on file and available for public review at the Burr Ridge Village Hall or contact:

Doug Pollock, Community Development Director  
(630) 654-8181 ext. 3000  
[dpollock@burr-ridge.gov](mailto:dpollock@burr-ridge.gov)

All persons interested in commenting on the proposed request will be given an opportunity to do so at the public hearing. Written statements are encouraged and will be reviewed by the Plan Commission/Zoning Board of Appeals if received at the Village Hall on or before the Wednesday preceding the public hearing.

BRONSON & BRATTON INC.  
220 SHORE DR.  
BURR RIDGE, IL. 60521  
0935203017

PACKAGING DESIGN CORP.  
101 SHORE DR.  
BURR RIDGE, IL. 60521  
0935205003

LEWANDOWSKI, DONALD  
12231 S. COACH RD.  
PALM HTS, IL. 60463  
0935203022

CTHTC MBOB 2929  
10 S. LASALLE ST. STE. 2750  
CHIC., IL. 60603  
0935205004

MATLASHEVSKA, OLENA  
150 SHORE DR.  
BURR RIDGE, IL. 60527  
0935203023

COOK FINANCIAL LLC  
5600 N. RIVER RD. NO. 150  
ROSEMONT, IL. 60018  
0935205005

RANDOLPH PROPERTIES LLC  
51 SHORE DR.  
BURR RIDGE, IL. 60527  
0935205001

VILLAGE OF BURR RIDGE  
7660 S. COUNTY LINE RD.  
BURR RIDGE, IL. 60521  
0935205006

RANDOLPH PROPERTIES, LLC  
51 SHORE DR.  
BURR RIDGE, IL. 60527  
0935205002

MORGAN REALTY PARTNERS  
10204 WERREN DR. UNIT 301  
WOODRIDGE, IL. 60517  
0935205020



7900 MADISON LLC  
C/O KORMAN LEDERER  
3100 DUNDEE RD.  
NORTHBROOK, IL. 60062  
0935205023

8040 MADISON LLC  
C/O KORMAN LEDERER  
3100 DUNDEE RD. NO. 116  
NORTHBROOK, IL. 60062  
0935205024

8040 MADISON LLC  
C/O KORMAN LEDERER  
3100 DUNDEE RD. NO. 116  
NORTHBROOK, IL. 60062  
0935205037

SHORE 114 LLC  
116 SHORE DR. UNIT 1  
BURR RIDGE, IL. 60527  
0935206001

SHORE 114 LLC  
114 SHORE DR. UNIT 2  
BURR RIDGE, IL. 60527  
0935206002

Midlane Management Co  
760 N Frontage Road  
Willowbrook, IL 60527  
0926400015

Willowbrook 2012 LLC  
c/o Roy Dobrasinovic  
15W580 N Frontage Road, #1  
Burr Ridge, IL 60527  
0926401005

Kling Corp  
800 W 79<sup>th</sup> ST  
Willowbrook, IL 60527  
0926402031

Marine Trust & Investment  
LT 90-5085  
7900 Joliet RD  
Willowbrook, IL 60527  
0935201004

ALCO Sales & Service Co  
6851 High Grove BLVD  
Burr Ridge, IL 60527  
0935203003

M.T. Real Estate Holdings  
136 Shore Drive  
Burr Ridge, IL 60527  
0935203008

Patrick Rhea  
1122 Timber Trails Road  
Downers Grove, IL 60516  
0926401001

DRK Real Estate Invest  
19W451 Deerpath LN  
Lemont, IL 60439  
0935201003

LDD Properties LLC  
16W020 79<sup>th</sup> ST  
Burr Ridge, IL 60527  
0926405001

SSC Property Holdings Inc  
Dept Pt-IL-08526  
PO Box 25025  
Glendale, CA 91201  
0935201004

BCL – Gemini LLC  
450 Skokie BLVD, Unit 6000  
Northbrook, IL 60062  
09352030021

Olena Matlashevsk  
150 Shore Drive  
Burr Ridge, IL 60527  
0935203009

SSC Property Holdings, Inc.  
Department PT-IL-08226  
PO Box 25025  
Glendale, CA 91201  
0926401002

Zhengang Guo  
1413 Wesley CT  
Westmont, IL 60559  
0926402011

Kent and Cynthia L McCaig  
815 79<sup>th</sup> ST  
Willowbrook, IL 60527  
0935201002

Karlyn Bldg Joint Venture  
10204 Werch Dr. Unit 301  
Woodridge, IL 60517  
0935202001

BCL – Gemini LLC  
450 Skokie BLVD, Unit 6000  
Northbrook, IL 60062  
0935203005

Betsy A Ginger  
156 Deerpath Trail  
Burr Ridge, IL 60527  
0935203010

## LEGAL NOTICE

### NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Plan Commission and Zoning Board of Appeals of the Village of Burr Ridge, Cook and DuPage Counties, Illinois, will conduct the following Public Hearings beginning at 7:30 p.m. on Monday, February 20, 2017, at the Burr Ridge Village Hall, 7660 County Line Road, Burr Ridge, Illinois 60527.

1. The Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by Paul Pacocha – Building Resource Group, LLC for re-zoning upon annexation as per Section VI of the Burr Ridge Zoning Ordinance to the R-2B or R-3 Single Family Residence District. The petition number and property address is Z-02-2017: 15W069 and 15W081 91st Street and the Permanent Real Estate Index Numbers are: 10-01-403-012 and 10-01-403-011.

2. The Plan Commission/Zoning Board of Appeals will hold a public hearing to consider a request by Eduardo Restani for special use approval as per Section X.F.2.a of the Burr Ridge Zoning Ordinance to permit automobile sales in an existing building. The petition number and property address is Z-03-2017: 60 Shore Drive and the Permanent Real Estate Index Numbers are: 09-35-203-005.

The Plan Commission/Zoning Board of Appeals reserves the right to continue said hearings from time to time as may be required without further notice, except as may be required by the Illinois Open Meetings Act.

BY ORDER OF THE PLAN COMMISSION/ZONING BOARD OF APPEALS OF THE VILLAGE OF BURR RIDGE, COOK AND DUPAGE COUNTIES, ILLINOIS.

GREG TRZUPEK

CHAIRMAN

MEMBERS: MIKE STRATIS, DEHN GRUNSTEN, LUISA HOCH, GREGORY SCOTT, MARY PRAXMARER, AND JIM BROLINE.

2/2/2017 4740215

4740215

# CHICAGO TRIBUNE

media group

Sold To:

VILLAGE OF BURR RIDGE - CU00410376  
7660 S County Line Rd Ste 2  
Burr Ridge, IL 60527-4721

Bill To:

VILLAGE OF BURR RIDGE - CU00410376  
7660 S County Line Rd Ste 2  
Burr Ridge, IL 60527-4721

## Certificate of Publication:

Order Number: 4740215  
Purchase Order: Michelle Mahlan

State of Illinois - DuPage

**Chicago Tribune Media Group** does hereby certify that it is the publisher of the Clarendon Hills-GH, Hinsdale-GH, LaGrange-GL, Oakbrook-GH, Western Springs-GL. The Clarendon Hills-GH, Hinsdale-GH, LaGrange-GL, Oakbrook-GH, Western Springs-GL is a secular newspaper, has been continuously published Weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 IL CS 5/5.

This is to certify that a notice, a true copy of which is attached, was published 1 time(s) in the Clarendon Hills-GH, Hinsdale-GH, LaGrange-GL, Oakbrook-GH, Western Springs-GL on Feb 02, 2017.

This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

PUBLICATION DATES: **Feb 02, 2017**.

---

Clarendon Hills-GH, Hinsdale-GH, LaGrange-GL, Oakbrook-GH, Western Springs-GL

Executed at Chicago, Illinois on this

\_\_\_\_\_ Day of FEB 02 2017, by  
Day Month Year

**Chicago Tribune Media Group**

Deidra Durham

Notary Public



Z-03-2017

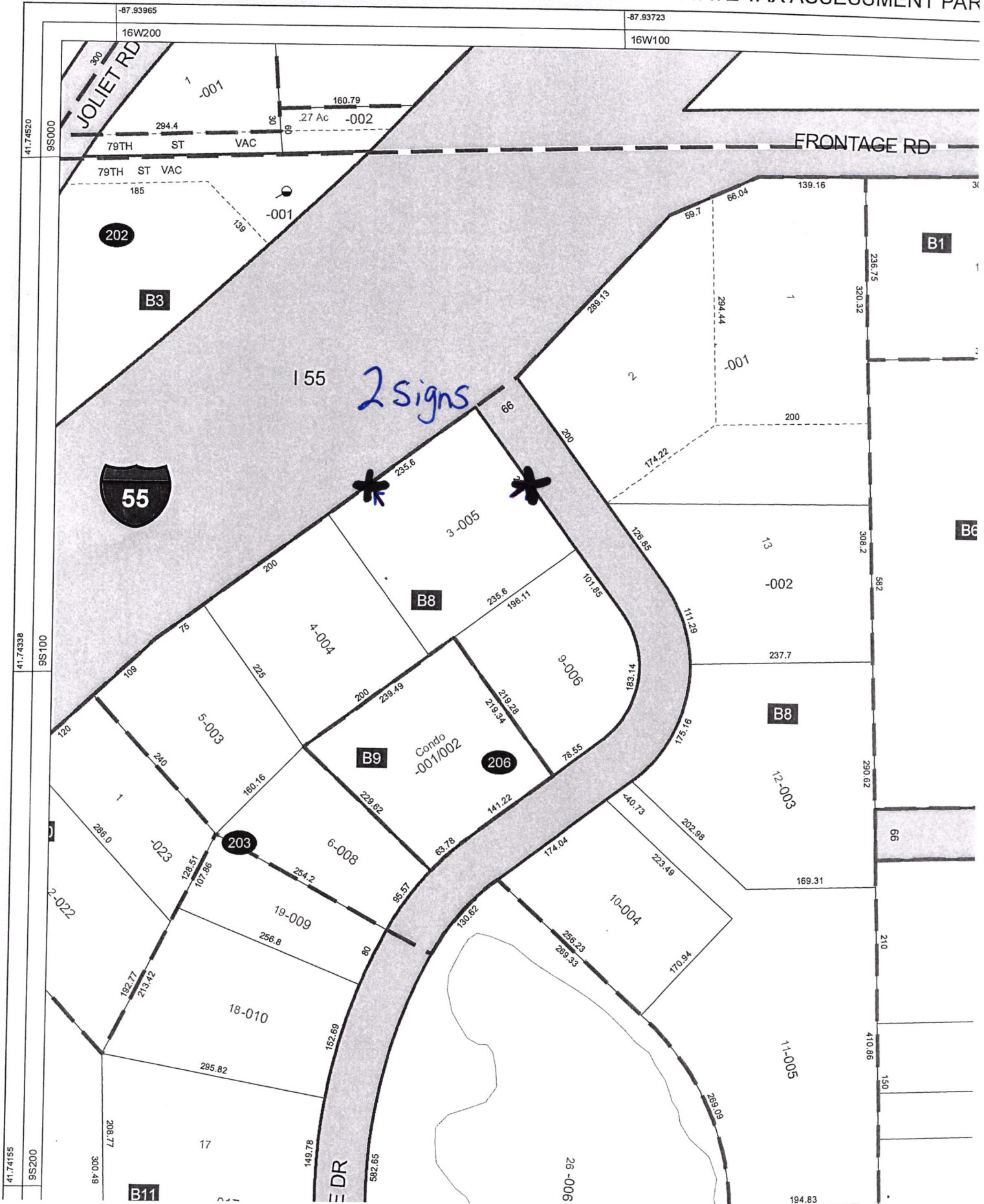


2-03-2017



2-03-2017

DOWNERS GROVE NORTH (T38N-R11E) - SECTION 35 - NORTHEAST QUAD  
DU PAGE COUNTY, ILLINOIS 2016 REAL ESTATE TAX ASSESSMENT PAR





**VILLAGE OF BURR RIDGE**  
**MEMORANDUM**

**TO:** Village of Burr Ridge Plan Commission  
Greg Trzupek, Chairman

**FROM:** Doug Pollock, AICP

**DATE:** February 16, 2017

**RE:** Board Report for February 20, 2017 Plan Commission Meeting

---

At its February 13, 2017 meeting the following actions were taken by the Board of Trustees relative to matters forwarded from the Plan Commission.

**Z-15-2016: Zoning Ordinance Text Amendment – Small Cell Antennas;** The Board of Trustees approved an amendment to the Zoning Ordinance regulating small cell wireless antennas in public rights of way.

**Z-01-2017: 555 Village Center Drive (Cruickshank);** The Board of Trustees concurred with the Plan Commission and directed staff to prepare an Ordinance granting this special use request for a Running Store/Fitness Apparel Store with Sales of Craft Beer or Wine.

**Annual Zoning Map Update:** The Board of Trustees approved the annual update to the Zoning Ordinance. It has been posted on the Village's web site.

**Plan Commission Appointment:** The Board of Trustees approved Mayor Straub's nomination of Commissioner Broline as a full member of the Plan Commission. Commissioner Broline has served as an alternate member since June 22, 2015.



02/15/2017

## Permits Applied For January 2017



Permit Number	Date Applied	Property Address	Applicant Name & Contact Info		Description
JCA-17-001	01/04/2017	570 Village Center Dr.	Bhauna Bahadur	570 Village Center Drive Burr Ridge IL 60527	Com Alteration
JCA-17-004	01/10/2017	16W 211 South Frontage Rd.	Midwest Promotional Group	16W211 South Frontage Rd. Burr Ridge IL 60527	Com Alteration
JCA-17-012	01/20/2017	150 Harvester Dr.	F. H. Paschen	5515 N. East River Rd. Chicago IL 60656	Com Alteration
JCNC-17-020	01/30/2017	120 Harvester Dr	Pontis Architectural Group	248 S Main St. Springville UT 84663	Com New Construction
JCPE-17-010	01/17/2017	7900 Madison St	D & S Services	4042 W Midtown RD Mount Morris IL 61054	Com Electrical Permit
JCPP-17-015	01/23/2017	510 Village Center Dr.	Aria Group Architects, Inc.	830 N Boulevard Oak Park IL 60301	Com Plumbing Permit
JDS-17-019	01/25/2017	7210 Giddings Av	RMD Construction	7319 Park Ave Burr Ridge IL 60527	Demolition Structure
JELV-17-003	01/09/2017	15W 300 South Frontage Rd	Dreamline Construction Group	9400 Fallingwater Dr. E Burr Ridge IL 60527	Elevator
JGEN-17-011	01/17/2017	3 Norman Ct	JDS Home Builders, Inc	16W528 Bluff Rd Burr Ridge IL 60527	Generator
JPR-17-005	01/10/2017	100 Harvester Dr.	ComEd	2 Lincoln Center Oak Brook Terrace IL 60181	ROW Permit
JPR-17-008	01/11/2017	100 Harvester Dr.	Nicor Gas	90 N. Finley Rd. Glen Ellyn IL 60137	ROW Permit
JPR-17-009	01/11/2017	ROWs DuPage Locations	RS Services Systems, Inc.	38 Forestwood Dr. Romeoville IL 60446	ROW Permit
JPR-17-014	01/12/2017	15W 776 74th St	AT&T	1000 Commerce Dr. Oak Brook IL 60523	ROW Permit
JPR-17-016	01/23/2017	6607 Lee Ct	Grant & Power Landscaping In	700 E. Roosevelt Rd. West Chicago IL 60185	ROW Permit
JPR-17-018	01/27/2017	10S 450 Madison	Lee & Lilian Gaibu	10S450 Madison Burr Ridge IL 60527	ROW Permit
JRAL-17-002	01/04/2017	55 Oak Creek Dr	Mendes Remodeling	P.O. Box 431 Roscoe IL 61073	Residential Alteration
JRAL-17-007	01/11/2017	11318 W 74th St	Martina Aleksieva	11318 74th St Burr Ridge IL 60527	Residential Alteration

02/15/2017

## Permits Applied For January 2017



Permit Number	Date Applied	Property Address	Applicant Name & Contact Info		Description
JRPE-17-013	01/23/2017	6111 Madison St	Creber Construction Inc.	244 E Ogden Ave 111 Hinsdale IL 60521	Res Electrical Permit
JRSF-17-006	01/11/2017	8372 Waterview Ct	McNaughton Development	11S220 Jackson St. Ste 101 Burr Ridge IL 60527	Residential New Single Family
JRSF-17-017	01/24/2017	9181 Garfield Av	Stanislaw Nowobilski	12522 Suffield DR Palos Park IL 60464	Residential New Single Family
<b>TOTAL:</b>	<b>20</b>				

## Permits Issued January 2017



Permit Number	Date Issued	Property Address	Applicant Name & Contact Info		Description	
					Value	Sq Ftg
JCA-17-012	01/31/2017	150 Harvester Dr.	F. H. Paschen	5515 N. East River Rd. Chicago IL 60656	Com Alteration	\$1,449,953      5,428
JCPE-16-352	01/06/2017	7900 Madison St	Title Electric Company	3209 Doolittle Dr. Northbrook IL 60062	Com Electrical Permit	
JGEN-16-342	01/19/2017	11610 White Oak Ct	Thermflo	251 Holbrook Dr. Wheeling IL 60090	Generator	
JGEN-16-353	01/17/2017	15W 440 63rd St	Colm Connolly Builders, Inc.	12907 S. Ridgeland Av. Palos Heights IL 60463	Generator	
JPR-16-320	01/05/2017	8611 Crest Ct	Premier Landscape Contractors	16W179 Jeans Rd. Lemont IL 60439	ROW Permit	
JPR-17-005	01/11/2017	100 Harvester Dr.	ComEd	2 Lincoln Center Oak Brook Terrace IL 60181	ROW Permit	
JPR-17-008	01/16/2017	100 Harvester Dr.	Nicor Gas	90 N. Finley Rd. Glen Ellyn IL 60137	ROW Permit	
JPR-17-009	01/17/2017	ROWs DuPage Locations	RS Services Systems, Inc.	38 Forestwood Dr. Romeoville IL 60446	ROW Permit	
JPR-17-014	01/23/2017	15W 776 74th St	AT&T	1000 Commerce Dr. Oak Brook IL 60523	ROW Permit	
JPR-17-018	01/30/2017	10S 450 Madison	Lee & Lilian Gaibu	10S450 Madison Burr Ridge IL 60527	ROW Permit	
JPS-16-356	01/24/2017	410 Village Center Dr.	Neon Art Sign	4752 N. Avers Chicago IL 60625	Sign Permit	
JRAL-16-348	01/11/2017	6224 Elm St	Global Connection, Inc.	10115 Old Orchard Ct. Skokie IL 60076	Residential Alteration	\$13,950      186
JRAL-16-357	01/24/2017	112 79th St	Normandy Construction	440 E. Ogden Avenue Hinsdale IL 60521	Residential Alteration	\$19,200      256
JRES-16-321	01/25/2017	7785 Wolf Rd	Homeowner	Burr Ridge IL 60527	Residential Miscellaneous	
JRSF-16-341	01/13/2017	1181 Secret Forest Dr.	New Line Design	19636 W. 97th Av Mokena IL 60448	Residential New Single Family	

**TOTAL:      15**

02/15/17

## Occupancy Certificates Issued January 2017



CO #	Certificate of Occupancy Date	Occupant of Record	Address
OF16042	12/19/16	Transamerica Premier Insurance Co.	1333 Burr Ridge Pkwy
OF17001	01/10/17	1st Family Dental	410 Village Center Dr.
OF17002	01/24/17	TCC Communications	8350 MADISON ST
OF17004	01/30/17	Vacant	8350 Waterview CT

## MONTHLY SURVEY OF BUILDING PERMITS - 2017

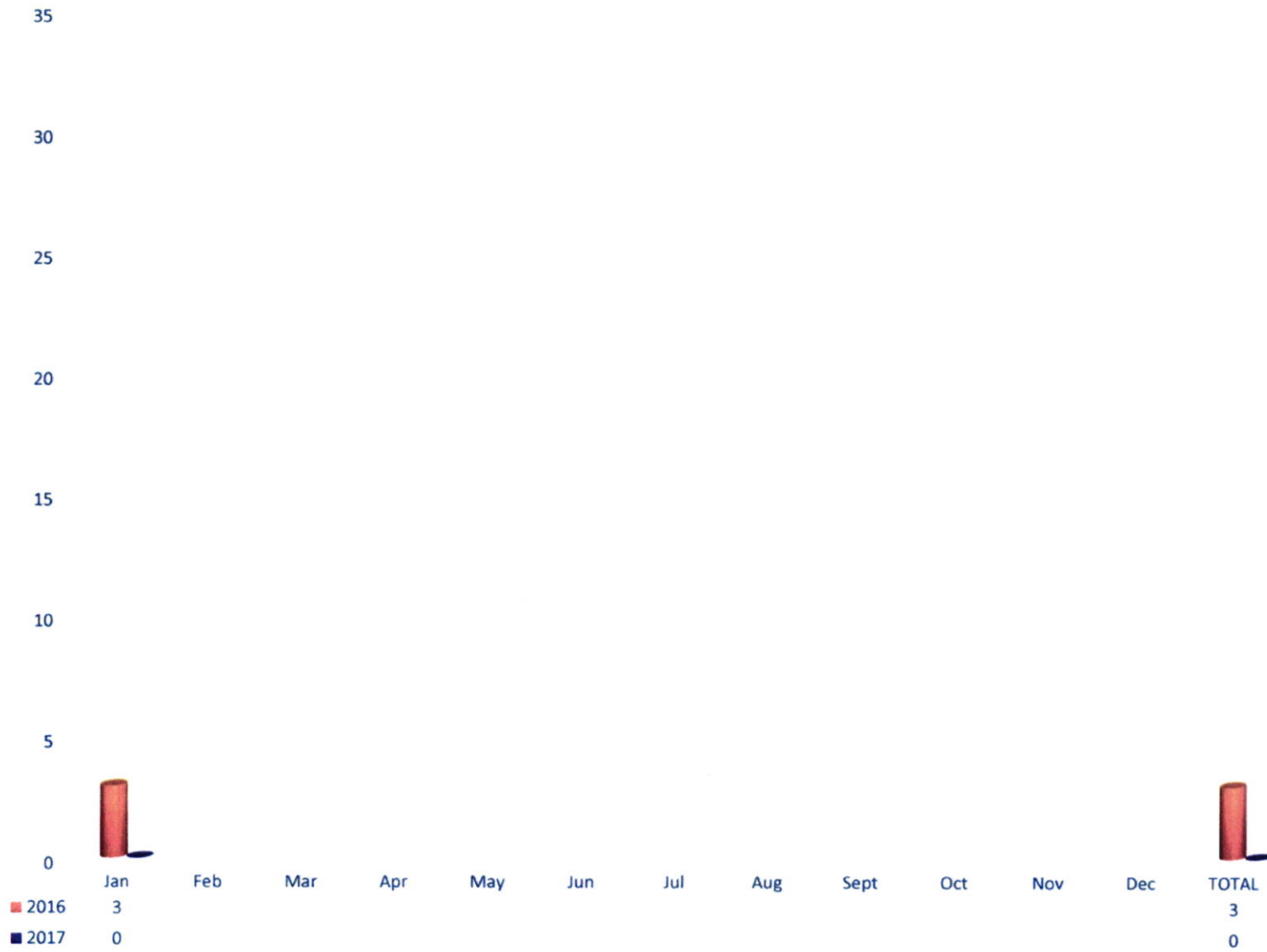
(Does not include miscellaneous Permits)

MONTH	SINGLE FAMILY RESIDENTIAL (NEW)	ADDITIONS ALTERATIONS (RES)	NON- RESIDENTIAL (NEW)	ADDITIONS ALTERATIONS (NON-RES)	TOTAL FOR MONTH
JANUARY	\$0	\$33,150		\$1,449,953	\$1,483,103
FEBRUARY		[2]		[1]	
MARCH					
APRIL					
MAY					
JUNE					
JULY					
AUGUST					
SEPTEMBER					
OCTOBER					
NOVEMBER					
DECEMBER					
<b>2017 TOTAL</b>	<b>\$0</b>	<b>\$33,150</b>	<b>\$0</b>	<b>\$1,449,953</b>	<b>\$1,483,103</b>
	[0]	[2]	[0]	[1]	

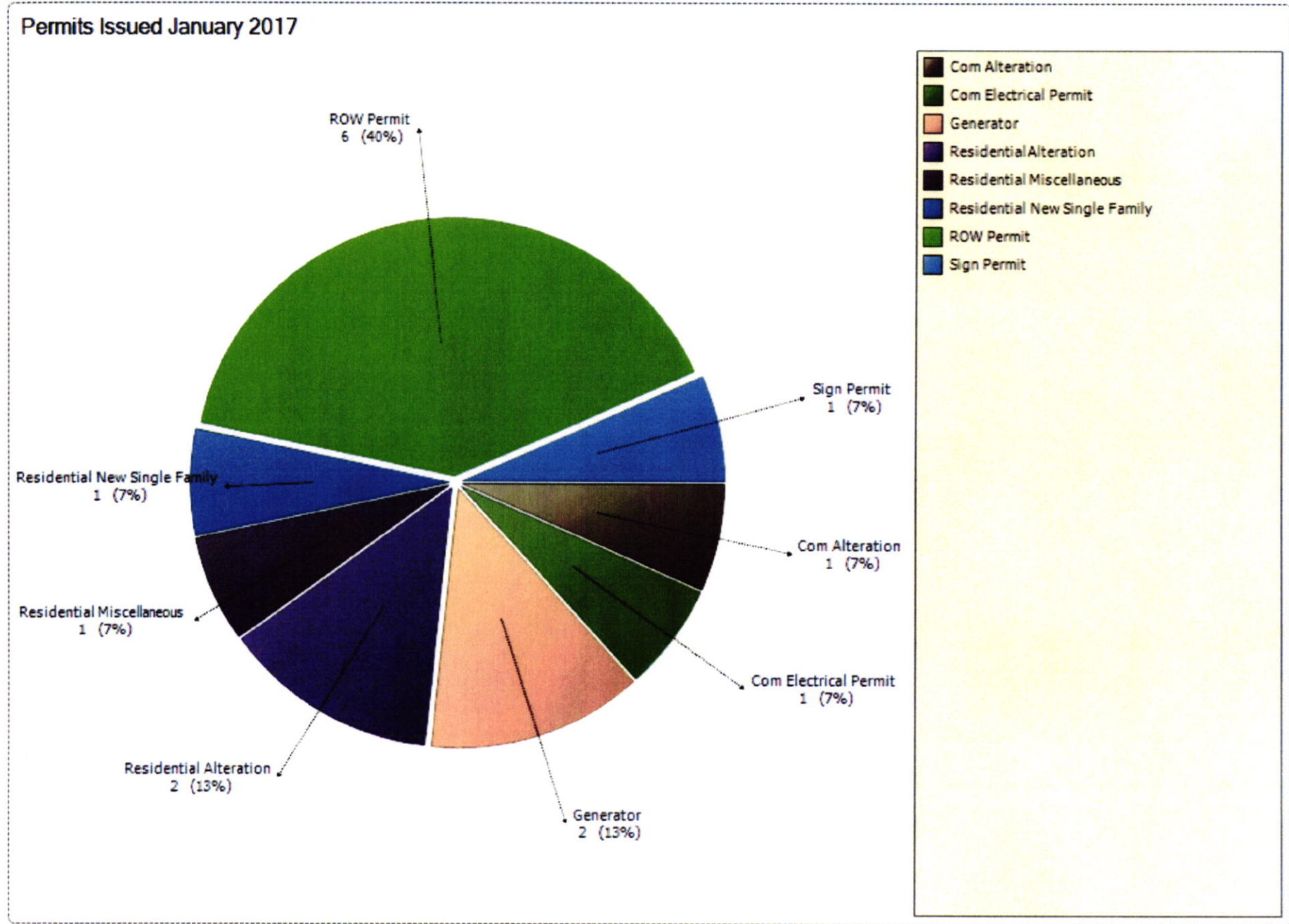
## Village of Burr Ridge Building Permits Issued 2017 Compared to 2016



## Village of Burr Ridge 2017 New Housing Starts Compared to 2016



Breakdown of Permits by Type







**VILLAGE OF BURR RIDGE**  
**MEMORANDUM**

**TO:** Village of Burr Ridge Plan Commission  
Greg Trzupsek, Chairman

**FROM:** Doug Pollock, AICP  
Community Development Director

**DATE:** February 16, 2017

**RE:** **PC-01-2017; Annual Zoning Ordinance Review**

Attached are summaries of all zoning actions considered by the Plan Commission in 2016. Staff is presenting this information for the annual Zoning Ordinance review. The annual zoning review is an opportunity to identify areas where the Zoning Ordinance may need to be updated to remain consistent with the Village's Comprehensive Plan, to keep up with property trends, to resolve conflicts, or address unintended consequences of zoning regulations.

After review of all public hearing petitions for 2016, there is one item that staff has identified for further consideration. The variation granted by the Village Board for the property at 15W241 81<sup>st</sup> Street permitted an increase in the horizontal coverage of the rear yard based in part on the use of a permeable paver system for all rear yard driveways, patios, walks, etc. The Zoning Ordinance restricts the horizontal coverage of a rear yard to 30% of the rear yard. The variation for this property allowed coverage up to 38% with 20% being a detached accessory building and 18% being a driveway.

Research regarding this variation request revealed that many communities do not treat permeable paver systems as lot coverage. Staff recommends that further consideration be given to amending the Zoning Ordinance to permit an increased rear yard coverage if a percentage of the coverage is permeable. If the Commission is in agreement, a motion would be appropriate requesting authorization from the Board of Trustees to conduct a public hearing on this question.

# Zoning Petitions - 2016

## Village of Burr Ridge Plan Commission

<b>Petition</b>	<b>Address</b>	<b>Petitioner</b>	<b>PC</b>	<b>BOT</b>	<b>Ordinance</b>
Z 01 2016	16W331 South Frontage Rd	Todd Molis	2/15/2016	3/14/2016	A-834-04-16
<i>Request:</i> Special Use			Approval	Approved	
Z-01-2016; 16W331 South Frontage Road (Molis); Requests special use approval as per Section X.F.2.j of the Burr Ridge Zoning Ordinance to permit a dental office					
Z 02 2016	100 Harvester Dr	Prominence Burr Ridge LLC/Falls Event Center LLC	3/21/2016	5/9/2016	A-834-09-16
<i>Request:</i> PUD/Special Use			Approval	Approved	
Petitioner requests an amendment to the Estancia Planned Unit Development, Ordinance No. A-834-08-04 to permit development and use of a four-story hotel and a one story event center building rather than the previously approved four story office building with a parking deck.					
Z 02 2016		Prominence Burr Ridge LLC/Falls Event Center LLC	3/21/2016	5/9/2016	A-834-08-16
<i>Request:</i> Text Amendment			Approval	Approved	
Petitioner requests an amendment to Section IX.D.2 of the Burr Ridge Zoning Ordinance to add Event Center or a similar classification to the list of special uses in the O-2 Office and Hotel District.					
Z 03 2016	9191 Drew Ave	Estate of Bernard A. Kavanaugh	4/18/2016	6/26/2016	A-834-12-16
<i>Request:</i> Rezoning Upon Annexation			Approval	Approved	
Rezoning upon annexation to the R-2B Single Family Residence District of the Zoning Ordinance.					
Z 04 2016	7960 Madison St	Burr Ridge Kettlebell, LLC/Paul Lyngso	4/18/2016	5/9/2016	A-834-07-16
<i>Request:</i> Special Use			Approval	Approved	
A special use as per the amended Section X.F.2 to permit a Health and Wellness Clinic including health and exercise facilities by appointment only					
Z 04 2016		Burr Ridge Kettlebell, LLC/Paul Lyngso	4/18/2016	5/9/2016	A-834-06-16
<i>Request:</i> Text Amendment			Approval	Approved	
Amendment to Section X.F of the Burr Ridge Zoning Ordinance to clarify the permitted and special use listings for Health and Wellness Clinic and for Private Athletic Training and Practice Facility					
Z 05 2016	10S371 Madison St	Laisvunas Valincius	5/2/2016		
<i>Request:</i> Rezoning Upon Annexation			Withdrawal	Withdrawn	
Rezoning upon annexation to the R-3 Single Family Residence District of the Burr Ridge Zoning Ordinance					
Z 06 2016	510 Village Center Dr	Aria Group Architects, Inc. for Coopers Hawk Rest	5/2/2016	5/23/2016	A-834-10-16
<i>Request:</i> Special Use			Approval	Approved	
Special use approval as per the Burr Ridge Village Center Planned Unit Development, Ordinance No. A-834-10-05, to permit the expansion of a restaurant with service of alcoholic beverages and live entertainment.					

<b>Petition</b>	<b>Address</b>	<b>Petitioner</b>	<b>PC</b>	<b>BOT</b>	<b>Ordinance</b>
Z 07 2016		Weekley Homes, LLC d/b/a David Weekley Homes	5/16/2016		
<i>Request:</i> Text Amendment					
Requests a variation from or an amendment to Section VI.H.4.b(6) to permit a Planned Unit Development on 22.5 acres rather than the required minimum of 40 acres					
Z 07 2016	11650 Bridewell Dr	Weekley Homes, LLC d/b/a David Weekley Homes	5/16/2016		
<i>Request:</i> PUD/Special Use					
Requests a Planned Unit Development on 22.5 acres rather than the required minimum of 40 acres; to accommodate the proposed development of 75 single-family homes with private streets and with floor areas ranging from approximately 2,100 square feet to 3,400 square feet.					
Z 07 2016	11650 Bridewell Dr	Weekley Homes, LLC d/b/a David Weekley Homes	5/16/2016		
<i>Request:</i> Rezoning					
Requests rezoning from the O-2 Office and Hotel District to the R-5 Planned Residence District.					
Z 08 2016		Mike and Tiffany Cruickshank	8/15/2016	9/12/2016	A-834-14-16
<i>Request:</i> Text Amendment					
Amendments to Section VIII.C.2 of the Burr Ridge Zoning Ordinance and to the Village Center PUD Ordinance to add running store/fitness apparel store with sales of craft beer and wine to the list of special uses in the B-2 business district and the Village Center PUD					
Z 08 2016	580 Village Center Dr	Mike and Tiffany Cruickshank	8/15/2016	9/12/2016	A-834-15-16
<i>Request:</i> Special Use					
Special use pursuant to the Burr Ridge Zoning Ordinance to permit a running store/fitness apparel store with sales of craft beer or wine.					
Z 08 2016	580 Village Center Dr	Mike and Tiffany Cruickshank	8/15/2016	9/12/2016	A-834-15-16
<i>Request:</i> PUD/Special Use					
Amend the Village Center Planned Unit Development Ordinance #A-834-10-05 to add running store/fitness apparel store with sales of craft beer and wine to the list of special uses on the first floor of buildings one through seven.					
Z 09 2016	6101 County Line Rd	King-Bruwaert House	9/19/2016	10/10/2016	A-834-22-16
<i>Request:</i> Amendment to PUD/Special Us					
Amendment to the King-Bruwaert House Planned Unit Development, Ordinance A-452-14-92, to allow the construction of a bistro serving a limited menu of food and beverages, for cash, and to allow for the sale of alcoholic beverages in the bistro.					
Z 10 2016	11650 Bridewell Dr	Weekly Homes, LLC	9/19/2016	10/10/2016	A-834-18-16
<i>Request:</i> Rezoning					
Request rezoning from the O-2 Office and Hotel District to the R-5 Planned Residence District					
Z 10 2016		Weekly Homes, LLC	9/19/2016	10/10/2016	A-834-19-16
<i>Request:</i> Text Amendment					
Amendment to Section VI.H.4.b(6) to reduce the minimum land area for a Planned Unit Development from 40 acres to 22.5 acres					

<b>Petition</b>	<b>Address</b>	<b>Petitioner</b>	<b>PC</b>	<b>BOT</b>	<b>Ordinance</b>
Z 10 2016	11650 Bridewell Dr	Weekly Homes, LLC	9/19/2016	10/10/2016	A-834-20-16
<i>Request:</i> PUD/Special Use			Approval	Approved	
Preliminary PUD approval for a single family residential subdivision with 52 units and private streets and association owned common space between homes.					
Z 11 2016	440 Village Center Dr	Kenneth Portillo and Michael Szczodry	10/17/2016	11/14/2016	A-834-25-16
<i>Request:</i> Special Use			Approval	Approved	
Special use approval to permit a Golf Simulation Facility with Sales of Alcoholic and non-Alcoholic Beverages and pre-packaged food and snacks					
Z 11 2016		Kenneth Portillo and Michael Szczodry	10/17/2016	11/14/2016	A-834-23-16
<i>Request:</i> Text Amendment			Approval	Approved	
Amendments to Section VIII.C.2 of the Burr Ridge Zoning Ordinance and to the Burr Ridge Village Center Planned Unit Development Ordinance No. A-834-10-05 to add Golf Simulation Facility with Sales of Alcoholic and non-Alcoholic Beverages and pre-packaged food and snacks" to the list of special uses in the B-2 District and in the Burr Ridge Village Center Planned Unit Development					
Z 12 2016	7600 County Line Rd	Med Properties Group	10/17/2016		A-834-02-17
<i>Request:</i> Special Use			Approval	Approved	
Special use approval as per Section VII.C.2.i for the use of the property for a medical office					
Z 12 2016	7600 County Line Rd	Med Properties Group	10/17/2016		A-834-02-17
<i>Request:</i> Special Use			Approval	Approved	
Special use approval as per Section VII.B.8-10 for site, landscaping and building elevation plan review					
Z 13 2016		Community Development Department	11/21/2016	12/12/2016	A-834-27-16
<i>Request:</i> Text Amendment			Approval	Approved	
An amendmen to Section IV.I of the Zoning Ordinance relative to permitted accessory structures and in particular, regulations for architectural entrance structures, walls and masonry piers					
Z 14 2016	7936 Madison St	Karl Keefer	11/21/2016	12/12/2016	A-834-26-16
<i>Request:</i> Special Use			Approval	Approved	
Special use pursuant to permit outside, overnight parking of five (5) delivery/service vehicles.					
Z 15 2016		Community Development Department	1/16/2017	2/13/2016	
<i>Request:</i> Text Amendment			Approval	Approved	
Amendment to Section IV to require that regulations for personal wireless service facilities are applicable to County and State rights of way.					

# Zoning Variations - 2016

## Village of Burr Ridge Plan Commission

<b>Petition</b>	<b>Address</b>	<b>Petitioner</b>	<b>PC</b>	<b>BOT</b>	<b>Ordinance</b>
V 01 2016	16W380 93rd Place	Mr. Jozef Dlugopolski	3/21/2016	4/11/2016	A-834-05-16
<i>Variation Type:</i> Lot Width/Area			Approval	Approved	
variation from Section VI.F.3.a of the Burr Ridge Zoning Ordinance to permit the re-subdivision of three parcels into two lots fronting on 93rd Place with the proposed lots being 13,813 square feet in area and 92 feet in width rather than the required 20,000 square feet in area and 100 feet in width					
V 02 2016	638 Gregford Dr	Christopher Bryant	5/16/2016	6/13/2016	A-834-11-16
<i>Variation Type:</i> Fences & Walls			Approval	Approved	
Variations from Section IV.J of the Burr Ridge Zoning Ordinance to permit a seven-foot tall, solid wood fence located in an interior side yard and a front yard rather than the requirement that fences not exceed five feet in height, be at least 50% open, and be located only in the rear yard.					
V 03 2016	11801 German Church Rd	Glenn Smutny c/o Field Development Group, Inc.	6/6/2016	6/27/2016	A-834-13-16
<i>Variation Type:</i> Accessory Structures			Approval	Approved	
Request for variations from Section IV.I of the Zoning Ordinance to permit accessory residential structures in an interior side buildable area (east of the existing home) rather than in the rear buildable area (south of the existing home). Said structures to include a fence, a detached accessory building, a swimming pool and the associated hardscape including stone/concrete patio surfaces, retaining and landscape walls and equipment.					
V 04 2016	15W660 79th St	Jeff Nowak	8/15/2016	9/12/2016	A-834-17-16
<i>Variation Type:</i> Accessory Structures			Approval	Approved	
variation from Section IV.X.2 of the Burr Ridge Zoning Ordinance to permit the addition of rooftop mechanical equipment without the required rooftop screening.					
V 05 2016	300 Tamerton Pkwy	Michael A DiCristina	9/19/2016	10/10/2016	A-834-21-16
<i>Variation Type:</i> Accessory Structures			Approval	Approved	
variations from Sections IV.I.17 and IV.I.22 of the Zoning Ordinance to permit accessory structures, including an outdoor kitchen, fireplace, and storage structure, to be located in a side buildable area rather than in the rear yard.					
V 06 2016	7383 Madison St	Efy and Andrew Gofis	11/21/2016	1/9/2017	A-834-01-17
<i>Variation Type:</i> Accessory Structures			Denial	Denied	
Variations from Section IV.I.12 of the Zoning Ordinance to permit the construction of a driveway gate on a lot of 14,600 square feet in area rather than the required 2 acres and with the gates located 3 feet from the front lot line rather than the required setback of 30 feet					
V 07 2016	15W241 81st St	Kenneth Paulan	12/5/2016	1/23/2017	A-834-04-17
<i>Variation Type:</i> Accessory Structures			Denial	Approved	
Requests a variation from Section IV.H.9.a of the Burr Ridge Zoning Ordinance to permit the combined horizontal area of all accessory buildings, structures and uses to be 38% of the rear yard rather than the maimimum permitted area of 30% of the rear yard.					

<b>Petition</b>	<b>Address</b>	<b>Petitioner</b>	<b>PC</b>	<b>BOT</b>	<b>Ordinance</b>
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Z 07 2016	11650 Bridewell Dr	Weekley Homes, LLC d/b/a David Weekley Homes	5/16/2016	Denial	Withdrawn
<i>Variation Type:</i> Lot Width/Area					
Requests a text amendment or variation from Section VI.H.4.b(6) to permit a Planned Unit Development on 22.5 acres rather than the required minimum of 40 acres					

Z 12 2016	7600 County Line Rd	Med Properties Group	10/17/2016	Approval	A-834-02-17
<i>Variation Type:</i> Parking & Landscaping					
Variation from Section XI.C.8 to permit a parking lot drive aisle to encroach into the front yard.					

Z 12 2016	7600 County Line Rd	Med Properties Group	10/17/2016	Approval	A-834-03-17
<i>Variation Type:</i> Parking & Landscaping					
Variation from Section XI.C.11. a(2)(c) to permit the parking lot and shared access drive without the required 8 foot setback from the south side lot line					

Z 12 2016	7600 County Line Rd	Med Properties Group	10/17/2016	Approval	A-834-03-17
<i>Variation Type:</i> Parking & Landscaping					
Variation from Section XI.C.11. a(2)(a) to permit the construction of a parking lot and dumpster enclosure 20 feet from the rear lot line rather than the required 30 feet					